



# Planning Applications Sub-Committee

## PRESENTATION PACK

**Date:** TUESDAY, 29 OCTOBER 2024

**Time:** 10.30 am

**Venue:** LIVERY HALL - GUILDHALL

4. **TENTER HOUSE, 45 MOORFIELDS, LONDON, EC2Y 9AE**

Report of the Director of Planning & Development.

**For Decision**  
(Pages 3 - 102)

5. **65 FLEET STREET, LONDON, EC4Y 1HT**

Report of the Planning & Development Director.

**For Decision**  
(Pages 103 - 242)

6. **165 FLEET STREET, LONDON, EC4A 2DY**

Report of the Director of Planning & Development.

**For Decision**  
(Pages 243 - 262)

**Ian Thomas CBE**  
**Town Clerk and Chief Executive**

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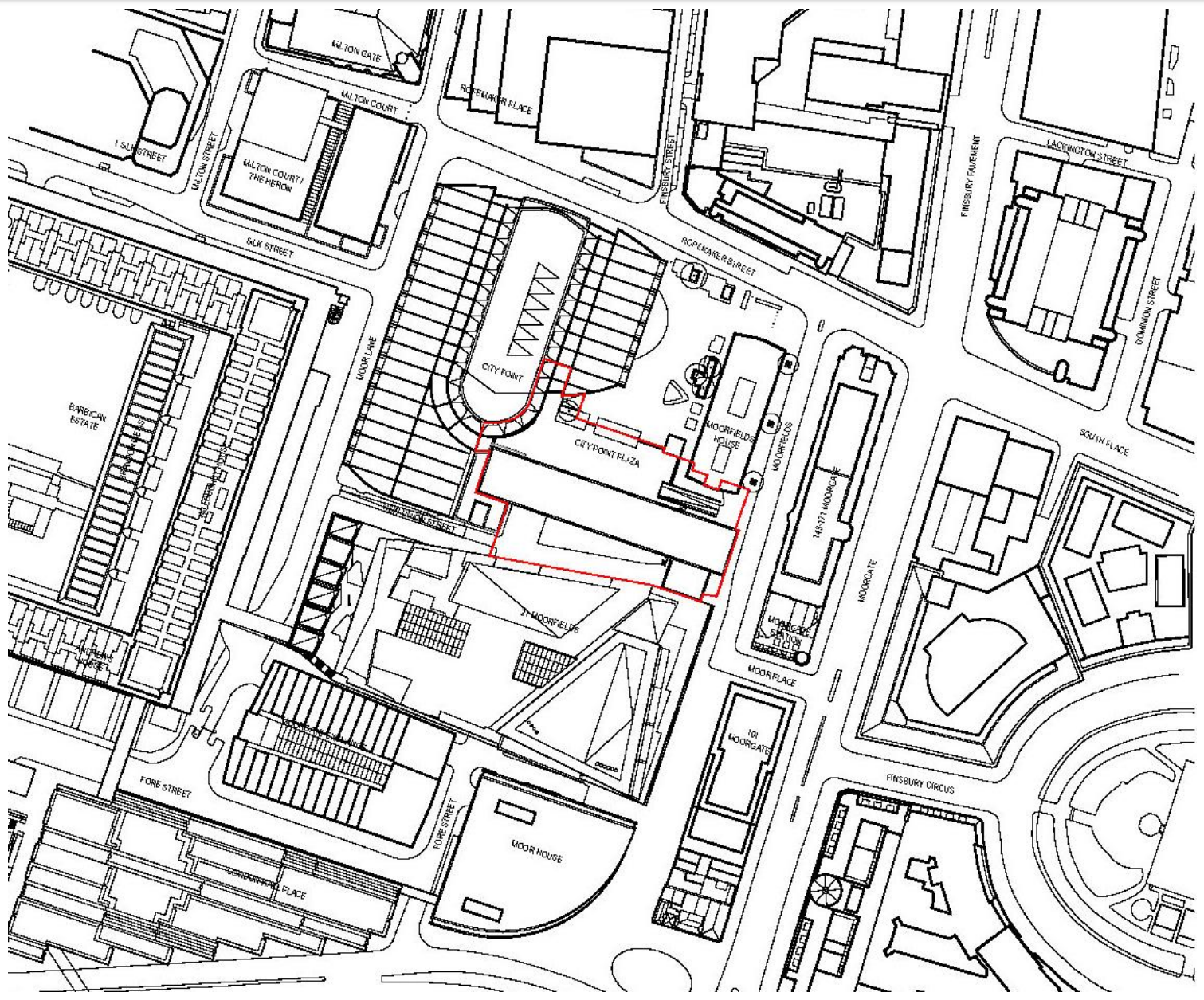


Tenter House, 45 Moorfields, London, EC2Y 9AE

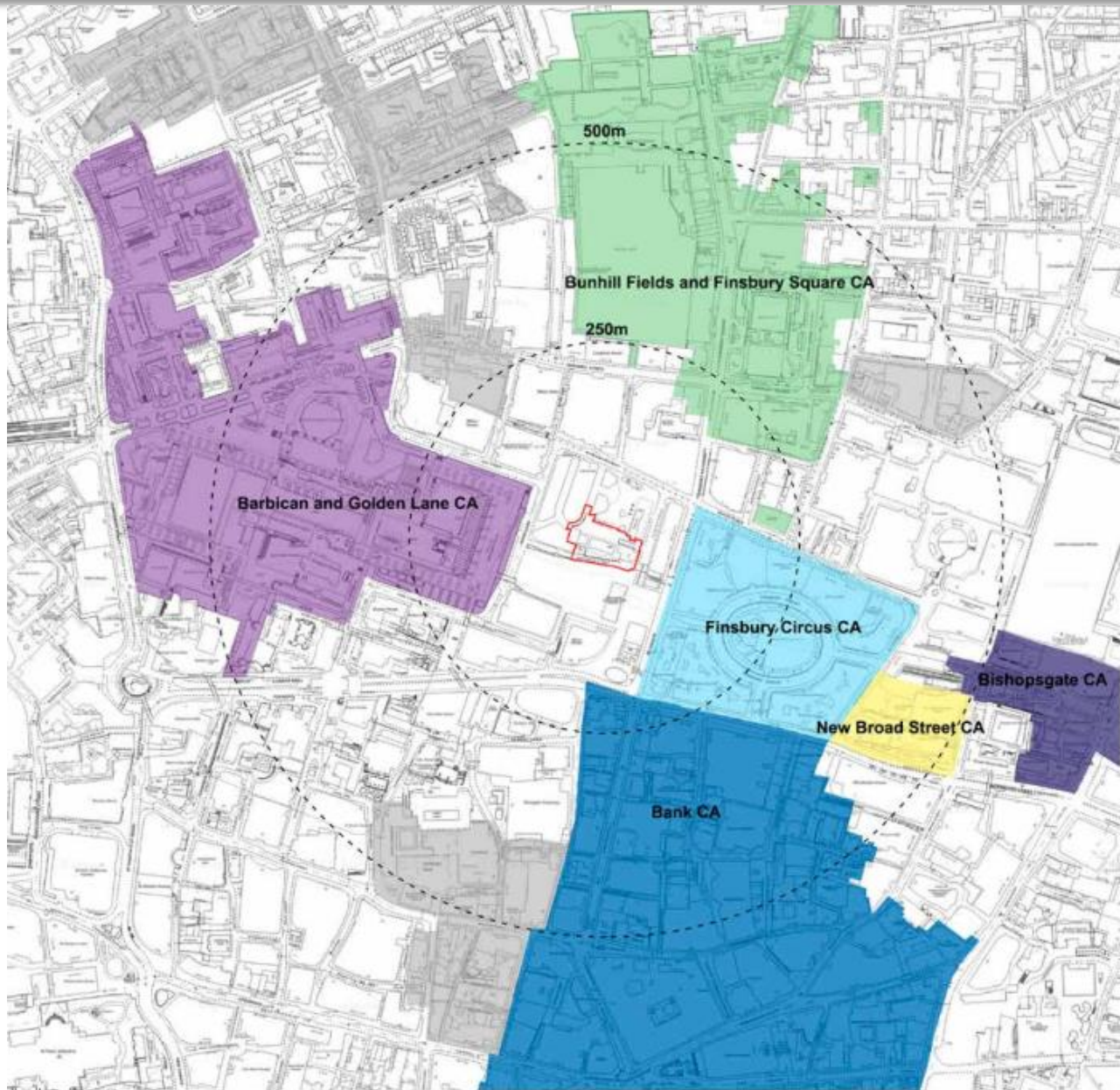
**Planning Applications Sub Committee**

29 October 2024

# Tenter House, 45 Moorfields, London, EC2Y 9AE

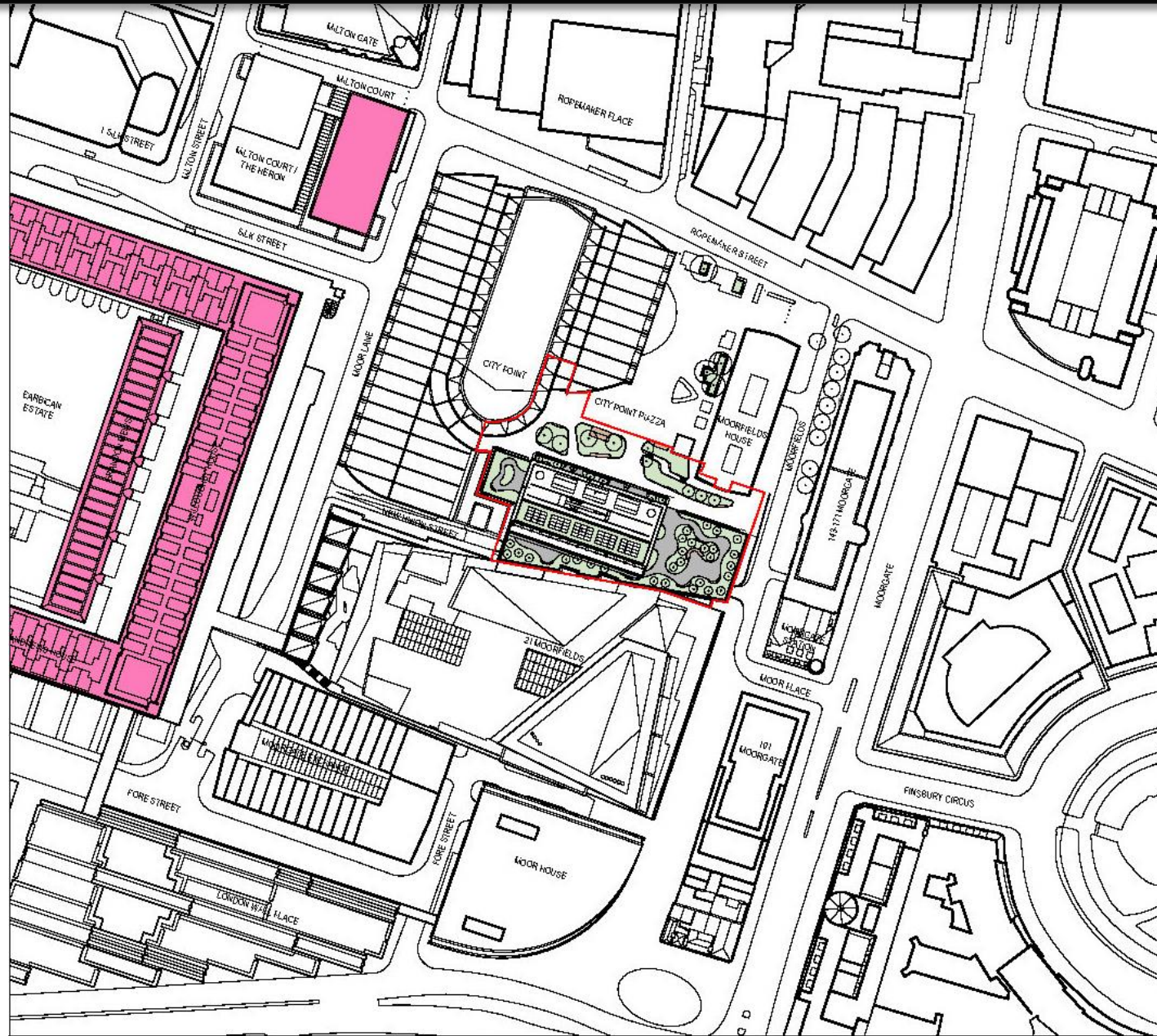


Location Plan



Location Plan – Conservation Areas & Listed Buildings

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Location Plan – Residential Properties

**IMAGE ONE: Top of pre-existing building at Moorfields**



**IMAGE TWO: View along New Union Street looking west**



**IMAGE THREE: View of car park ramp at Moorfields**



**IMAGE FOUR: View along New Union Street looking east**



**IMAGE FIVE: Northern elevation of pre-existing building - ramp in the foreground**



**IMAGE SIX: Entrance to pre-existing building along Moorfields**





# Tenter House, 45 Moorfields, London, EC2Y 9AE

**IMAGE SEVEN: Detail of pre-existing ramp to car park**



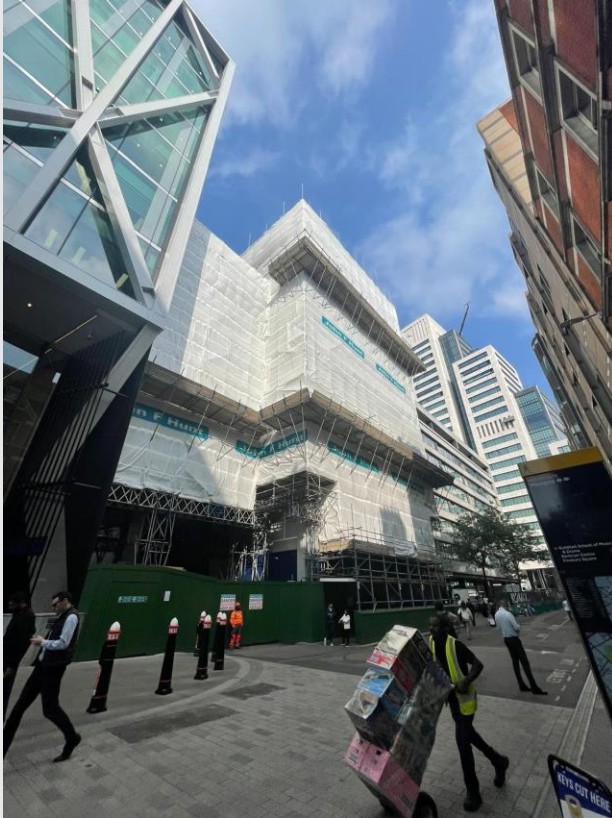
**IMAGE EIGHT: Detail of pre-existing building cladding**



**IMAGE NINE: View of loading bay on New Union Street**



**IMAGE ONE: View from Moorfields looking northwest (20/09/2024)**



**IMAGE TWO: View from Moorfields looking southwest (20/09/2024)**



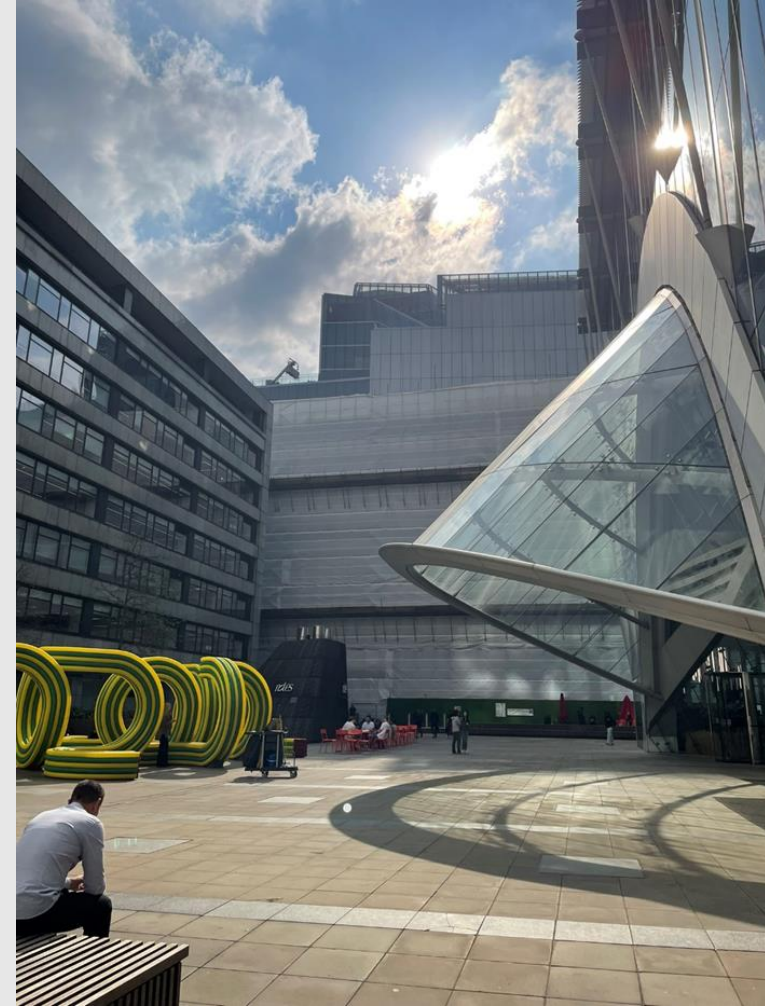
**IMAGE THREE: View from Moorfields looking west (20/09/2024)**



IMAGE FOUR: View from CityPoint Plaza looking south (20/09/2024)



IMAGE FIVE: View from CityPoint Plaza looking south (20/09/2024)



**IMAGE SIX: View of ramp taken from Moorfields looking west (20/09/2024)**



**IMAGE SEVEN: View of New Union Street taken from Moor Lane looking east (20/09/2024)**



IMAGE SIX: View of Level Eight (02/10/2024)



IMAGE SEVEN: View of Level Eight (02/10/2024)



IMAGE EIGHT: Interior view of Level Five (02/10/2024)

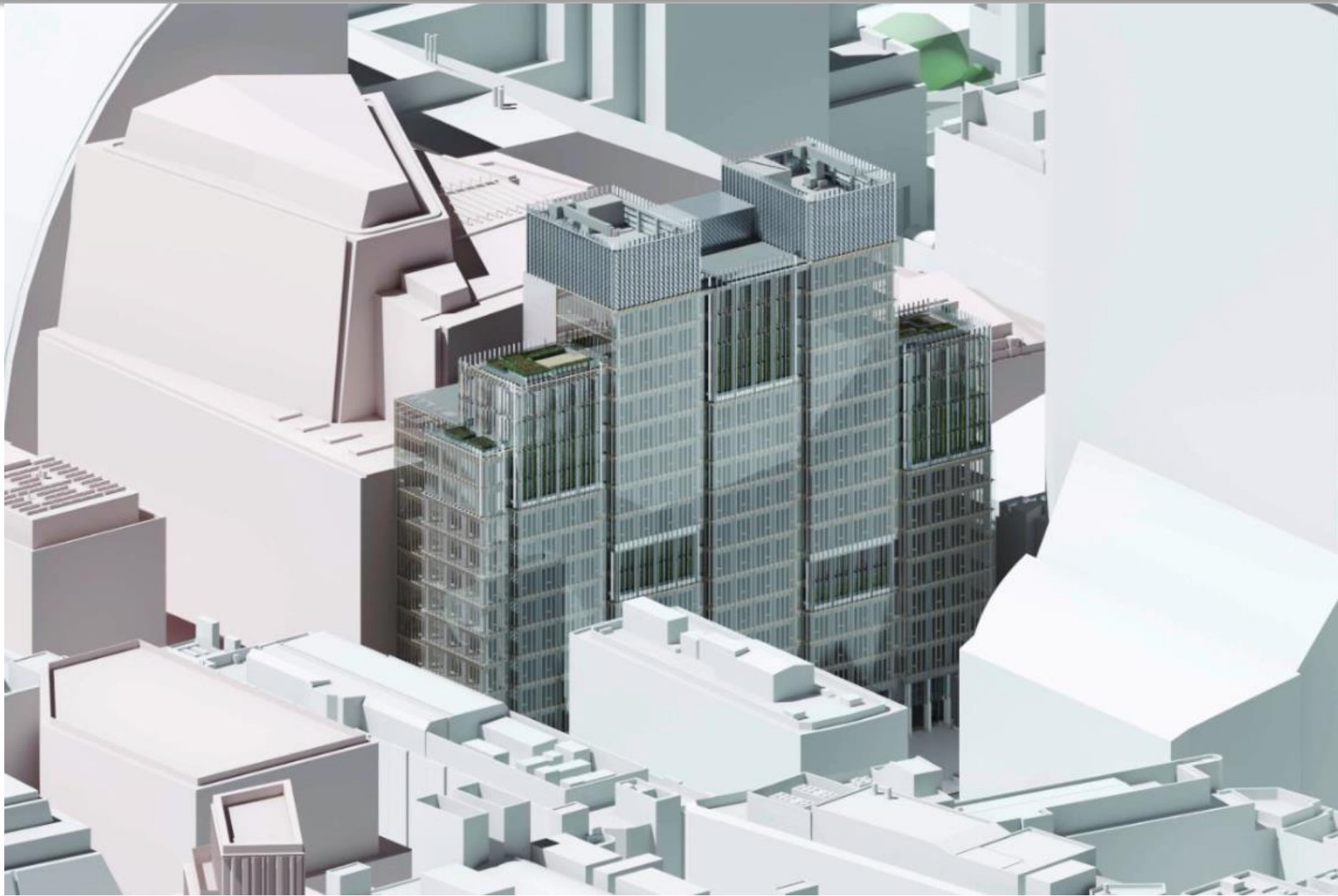


IMAGE NINE: Interior view of Level Five (02/10/2024)



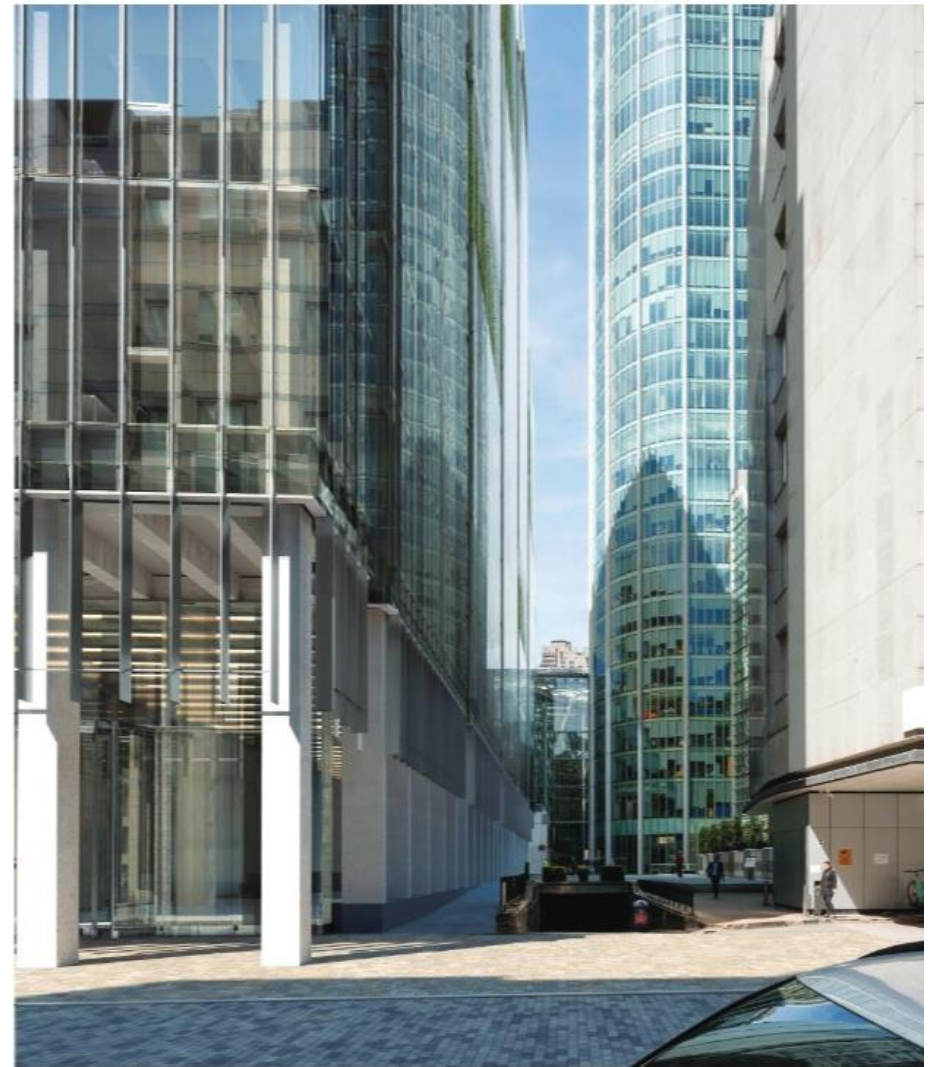
IMAGE TEN: Interior view of Ground Floor (02/10/2024)



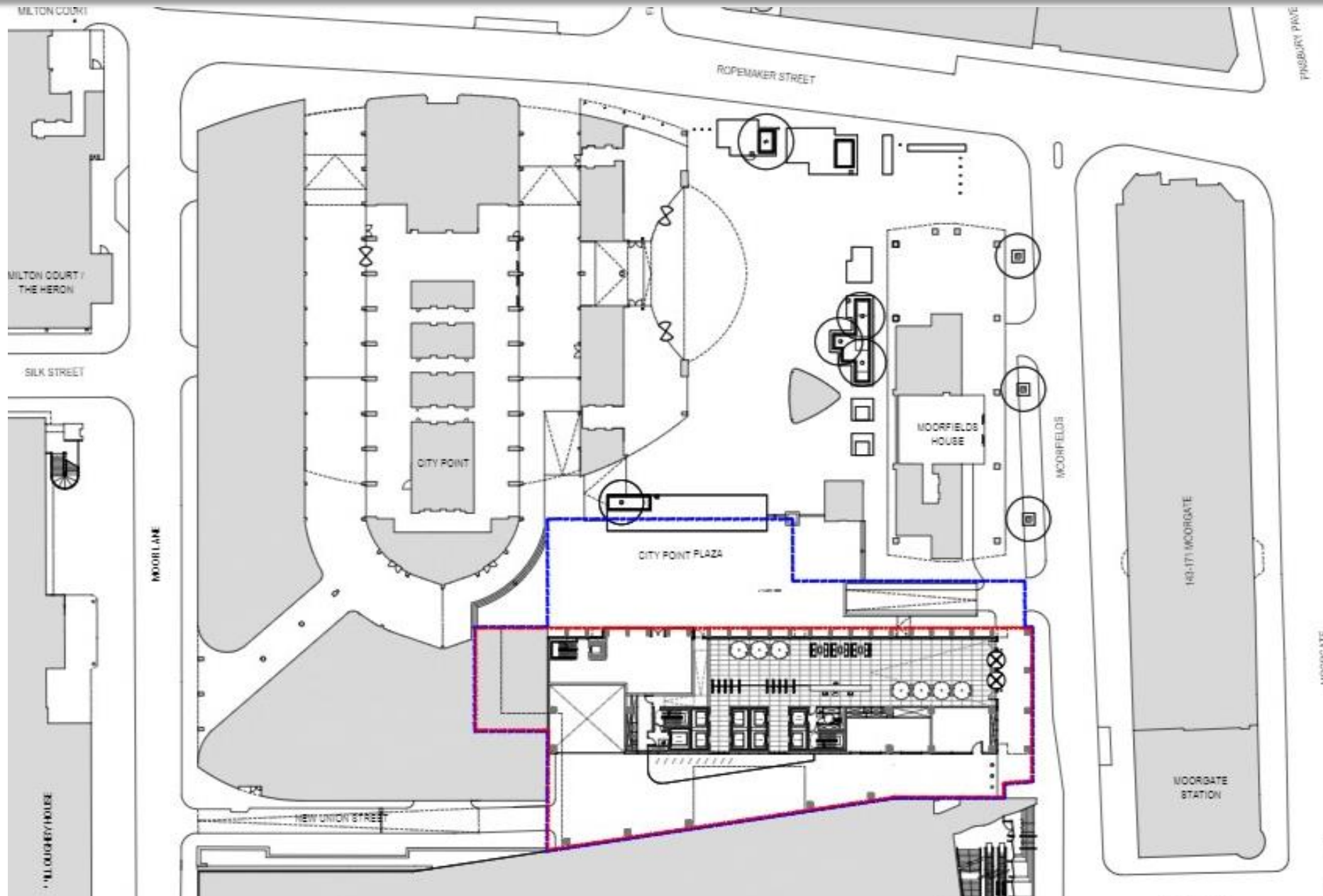


Consented Scheme CGI



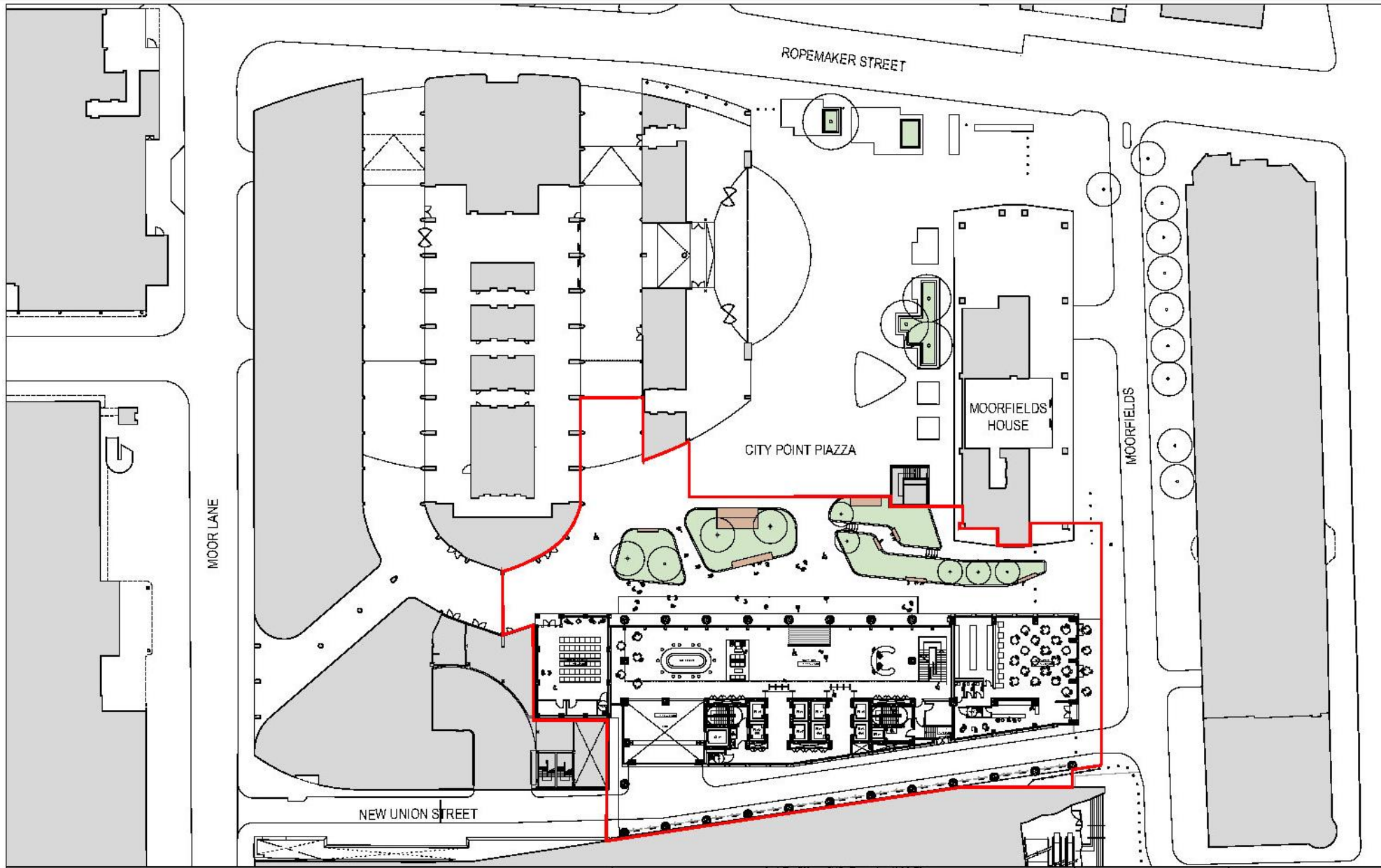


# Tenter House, 45 Moorfields, London, EC2Y 9AE



Consented Site Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Site Plan

Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Tenter House CGI

# Tenter House, 45 Moorfields, London, EC2Y 9AE

**IMAGE ONE: View from of City Point Plaza looking south**



**IMAGE TWO: View of City Point Plaza looking south (Western Standpoint)**



**IMAGE THREE: View from Moorfields looking southwest**



IMAGE FOUR: View from Moorfields looking northwest



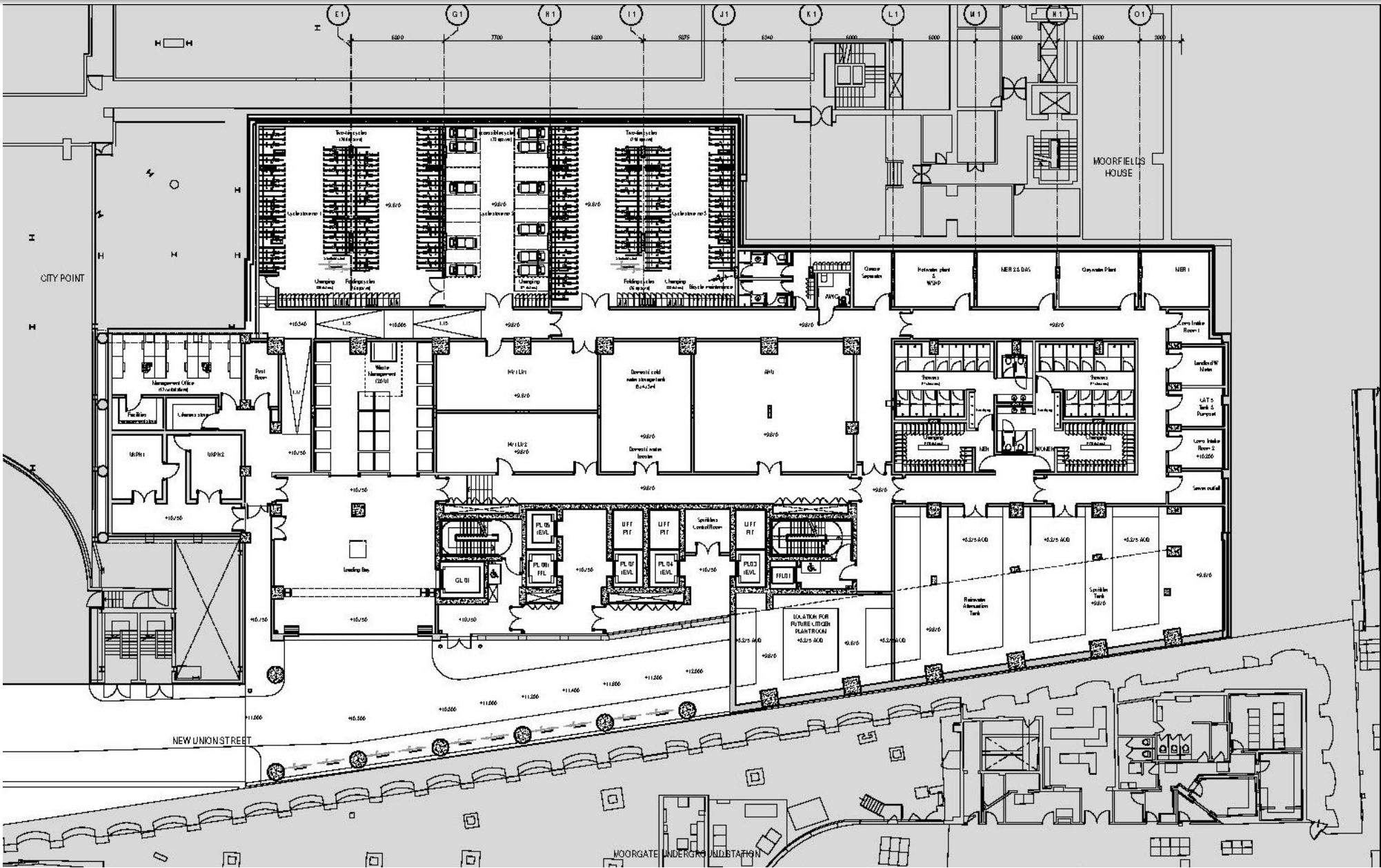
IMAGE FIVE: View from Moorfields, including previous ramp location looking west



IMAGE SIX: View of New Union Street from Moorfields looking west



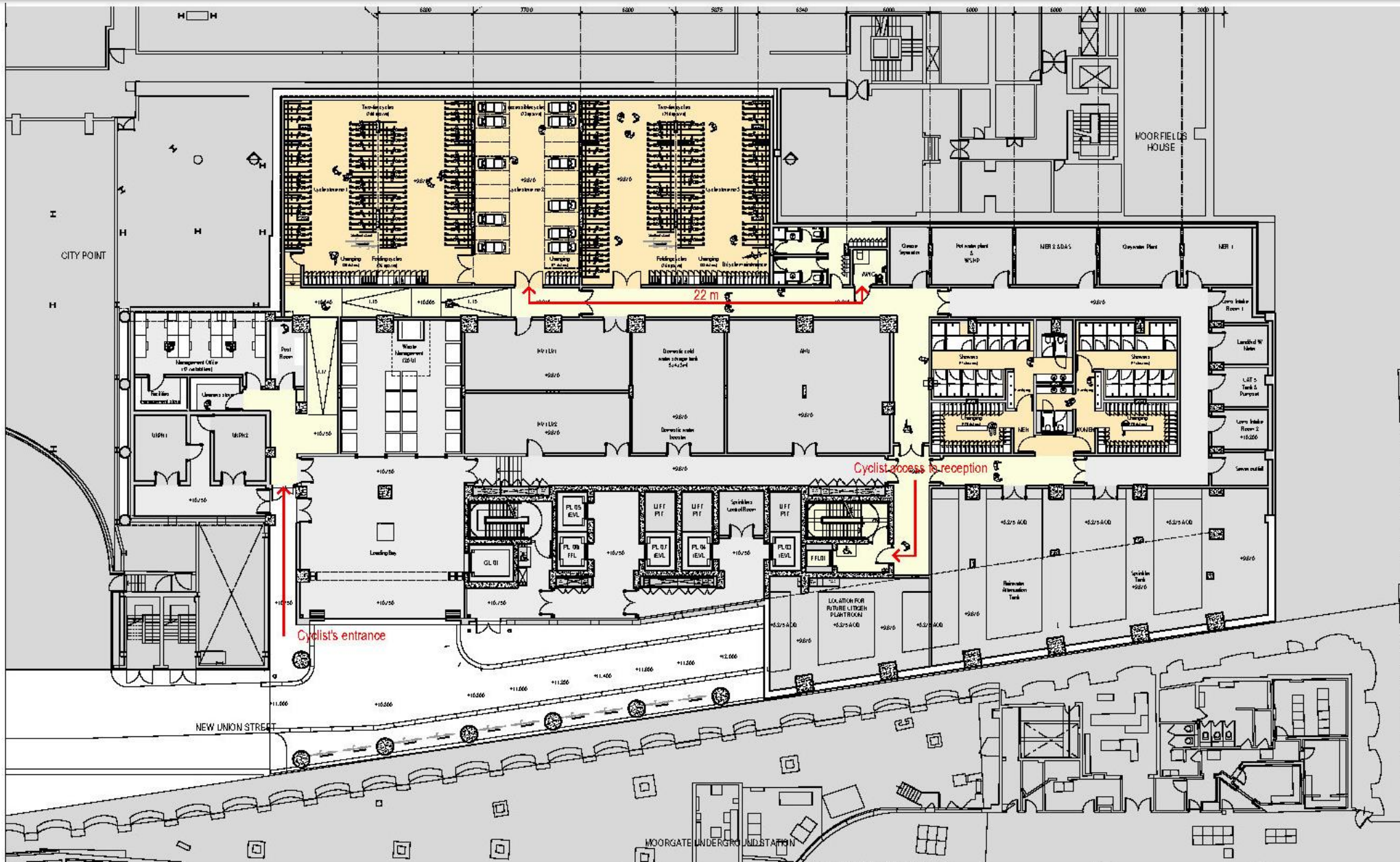
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Lower Ground Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE

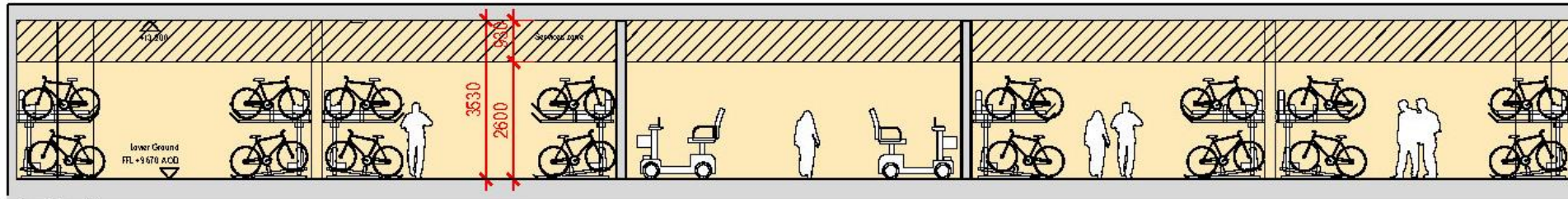
e 24



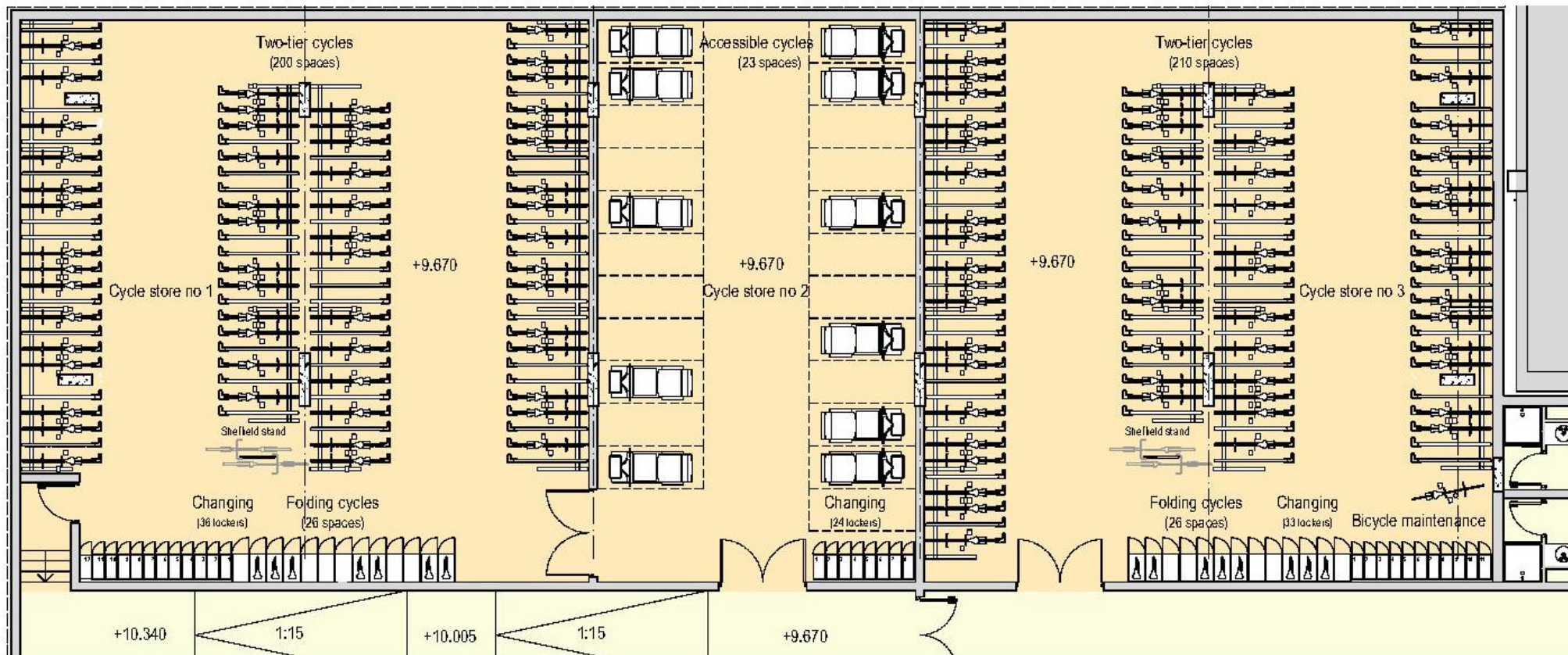
Proposed Lower Ground Cycle Access Layout



# Tenter House, 45 Moorfields, London, EC2Y 9AE



01 Partial Section AA  
1:100 (A3)

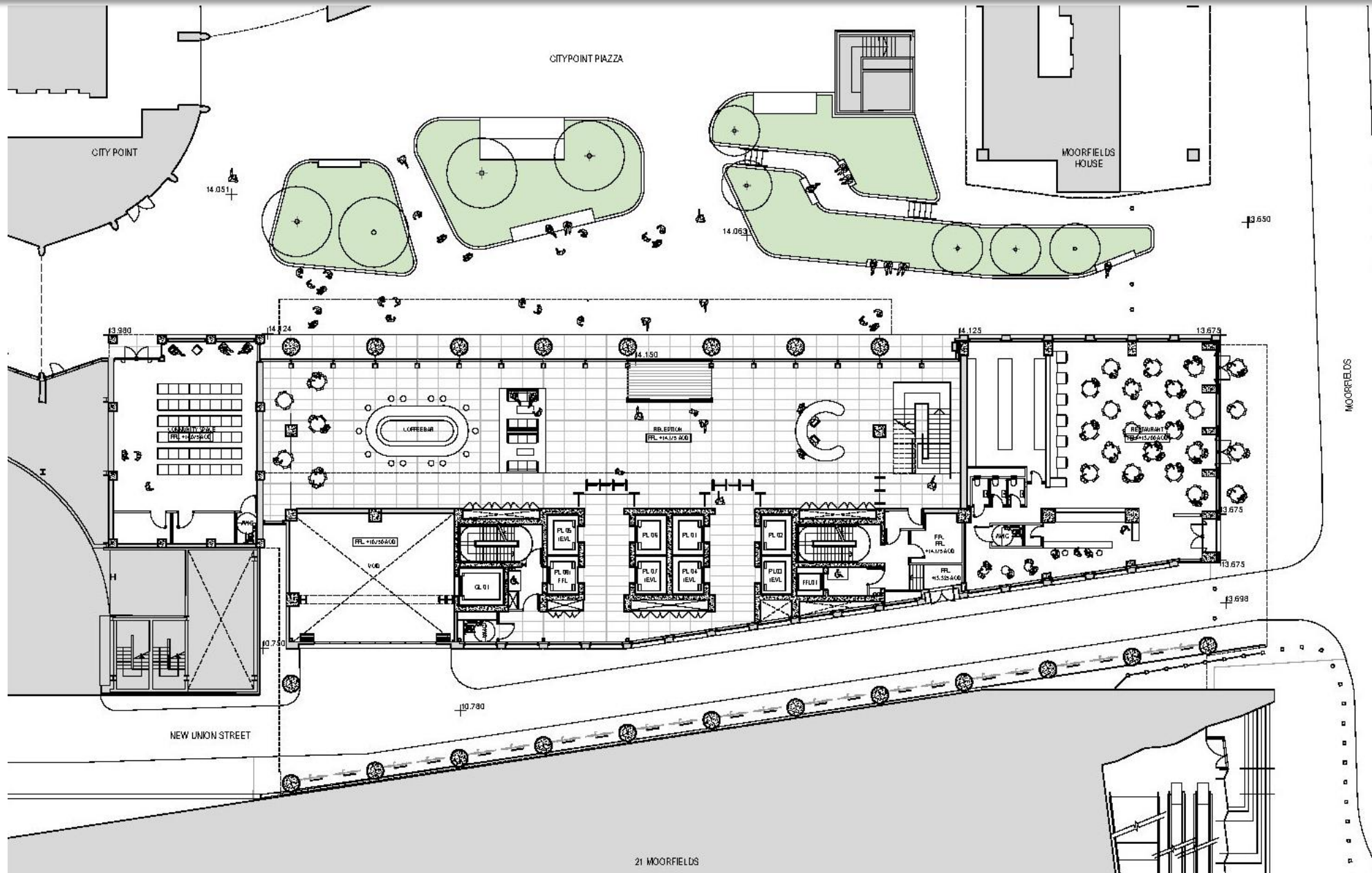


02 Cycle Parking Floor Plan  
1:100 (A3)

## Proposed Cycle Provision Interior Layout

# Tenter House, 45 Moorfields, London, EC2Y 9AE

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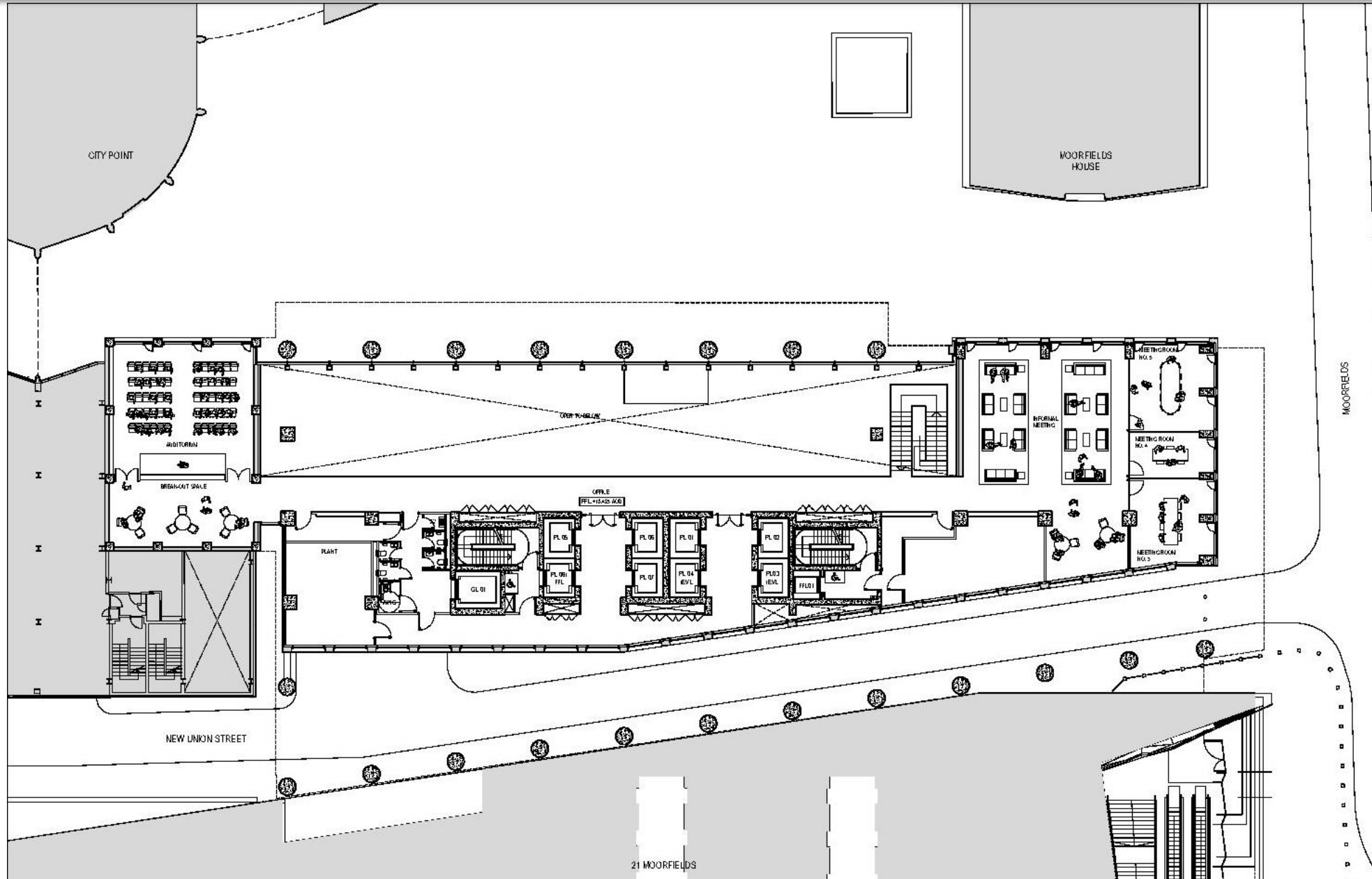


21 MOORFIELDS

Proposed Ground Floor Plan

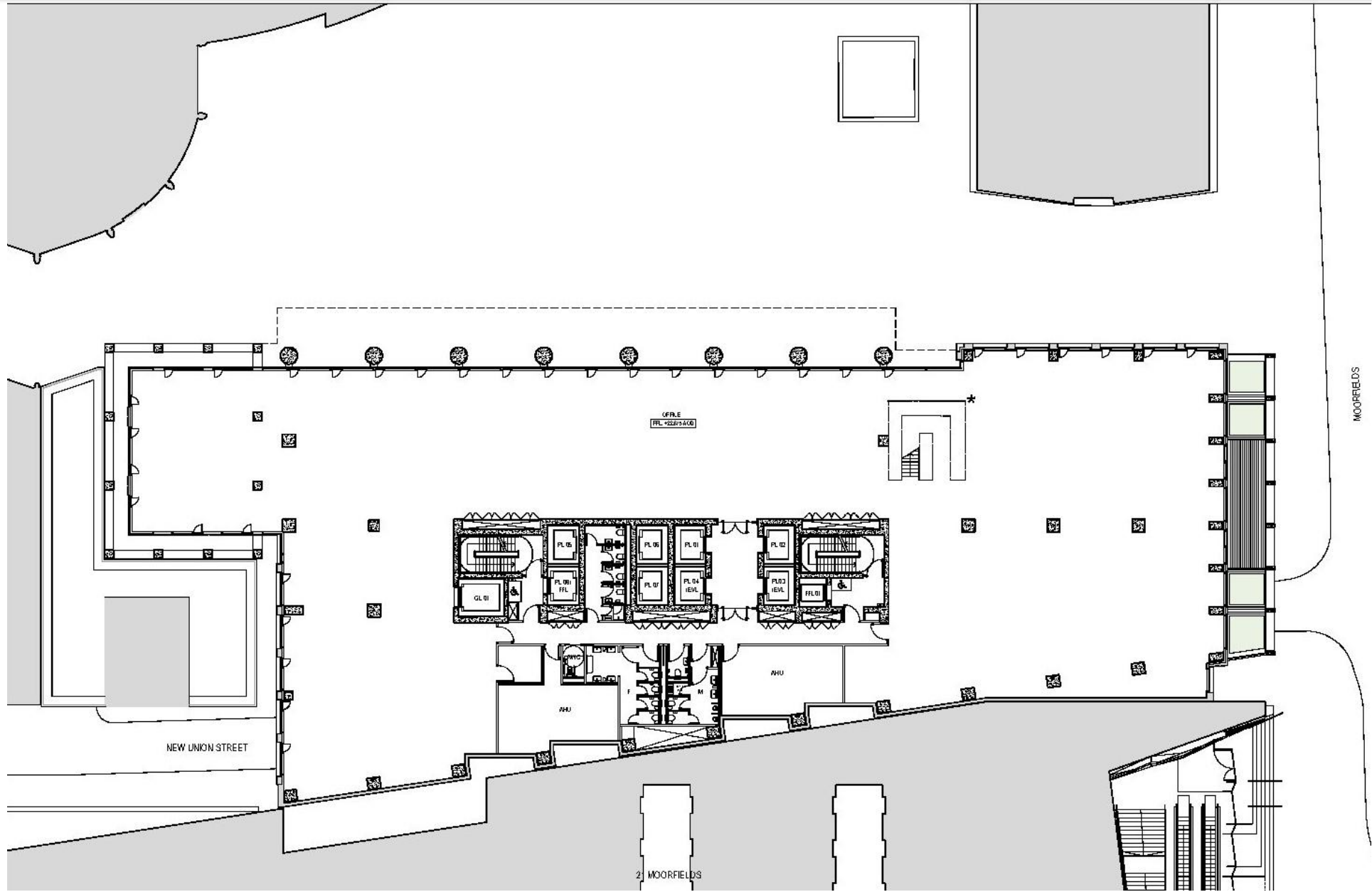
# Tenter House, 45 Moorfields, London, EC2Y 9AE

e 27



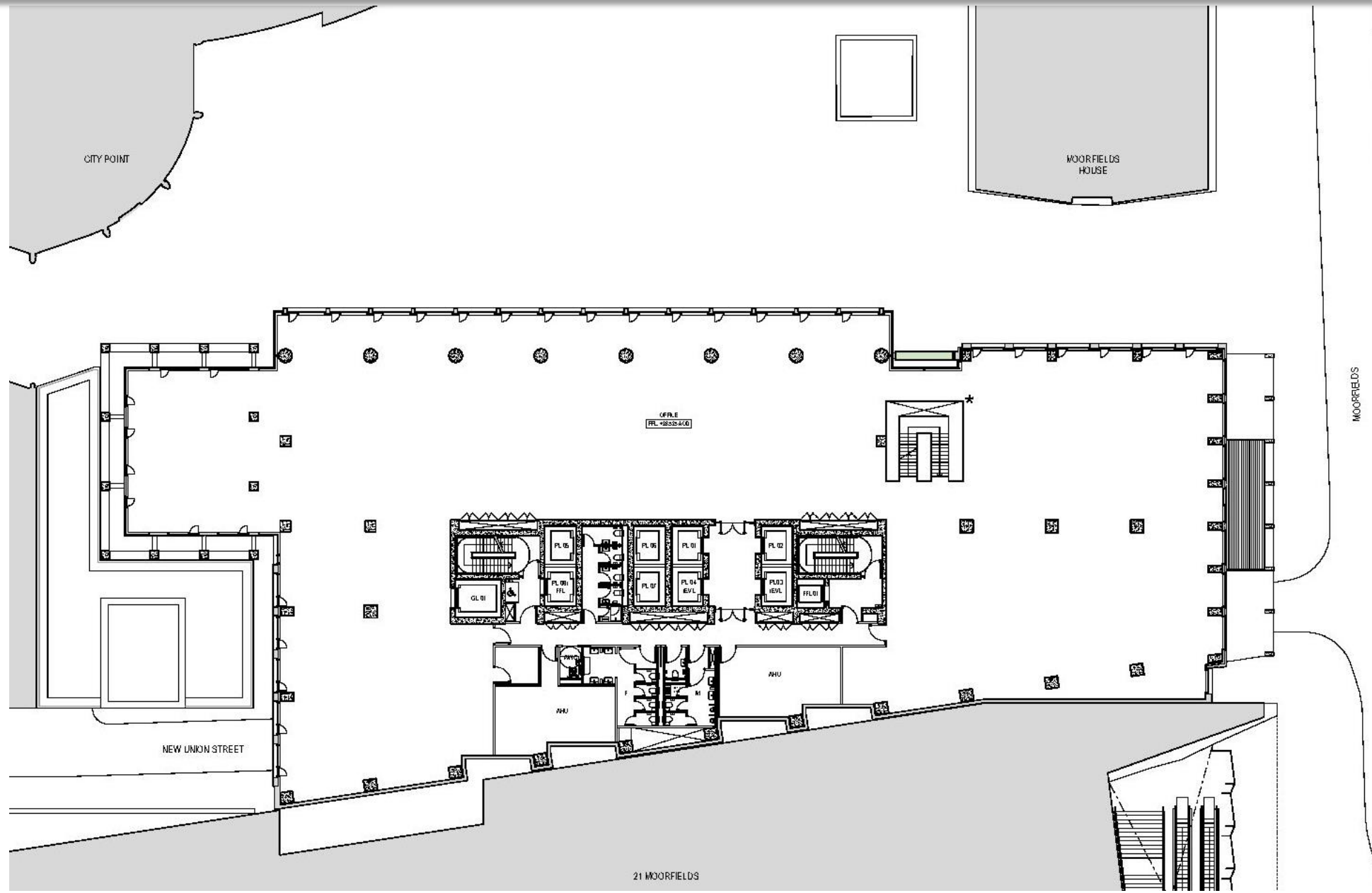
Proposed First Floor Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



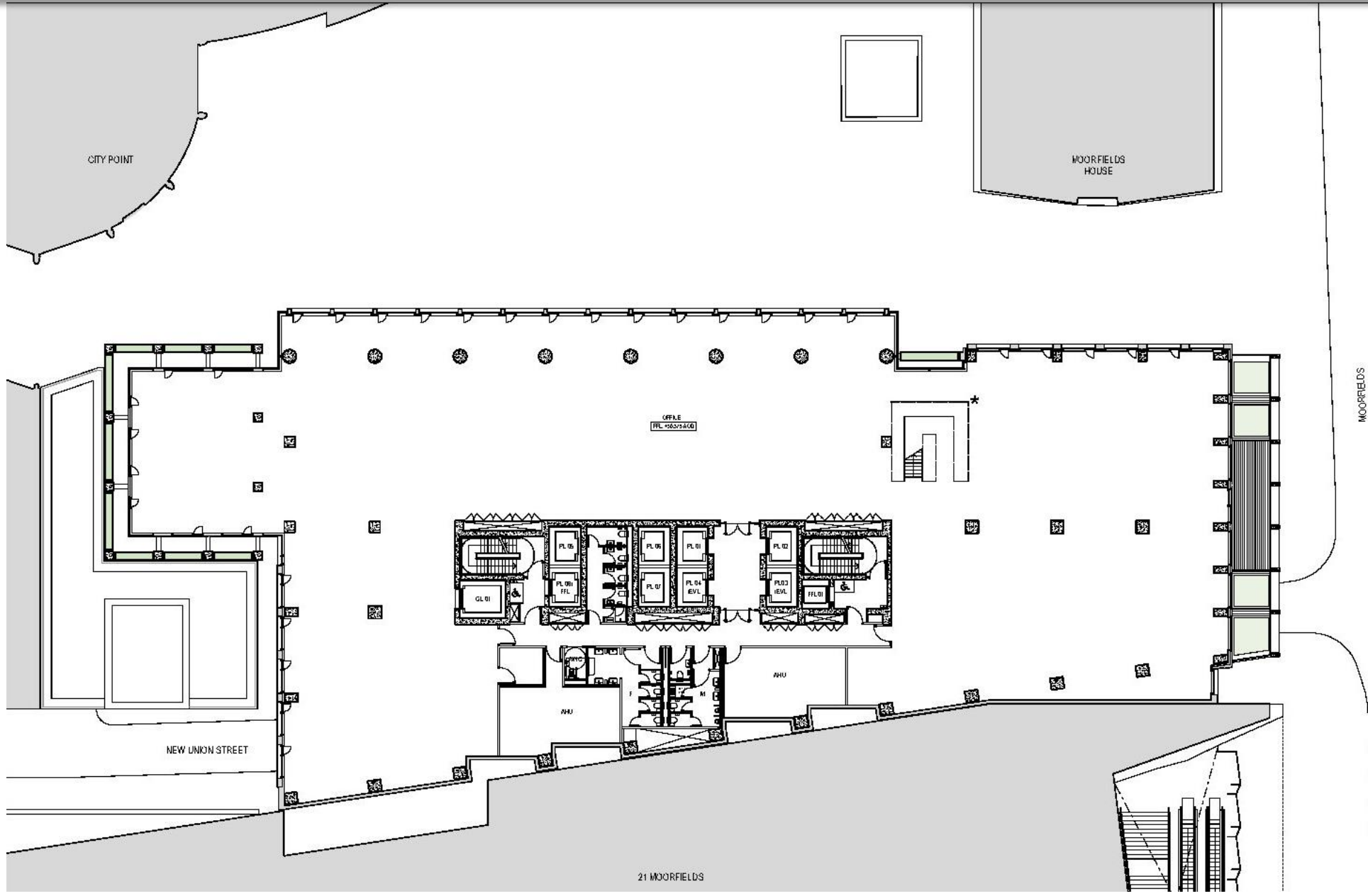
Proposed Second Floor Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



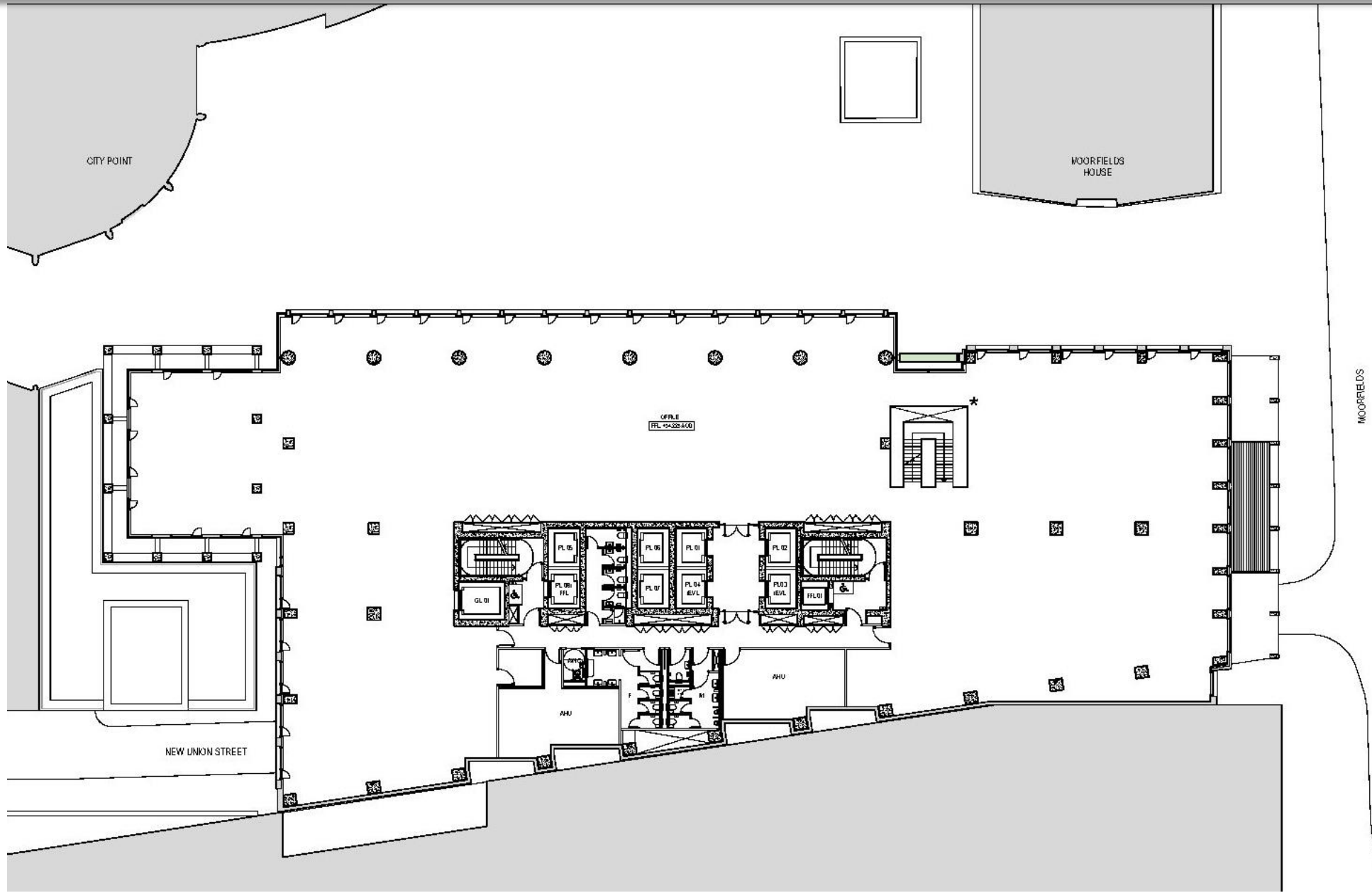
Proposed Third Floor Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Fourth Floor Plan and typical east elevation planting arrangement

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Fifth Floor Plan and typical east elevation balcony arrangement

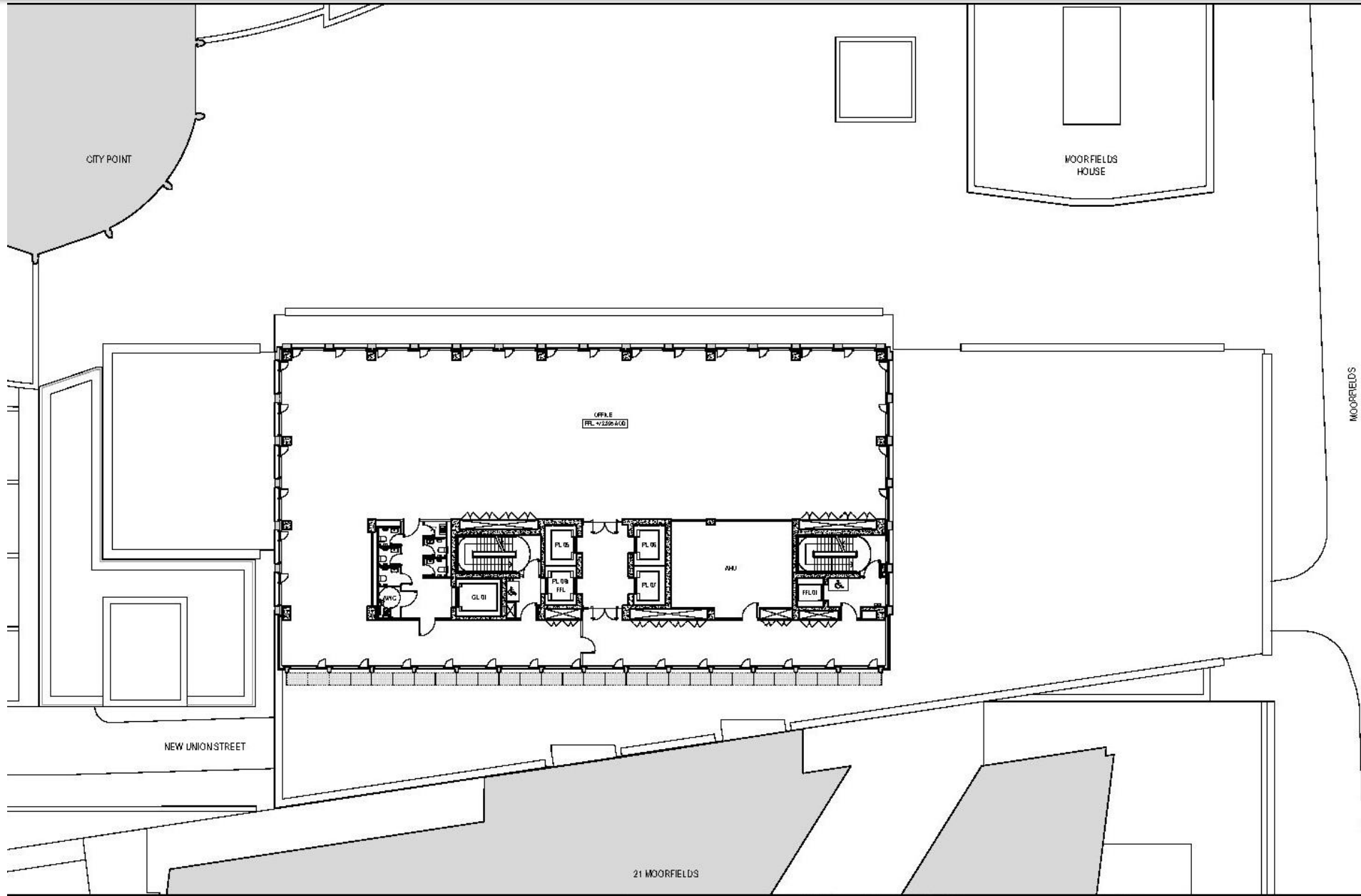
# Tenter House, 45 Moorfields, London, EC2Y 9AE



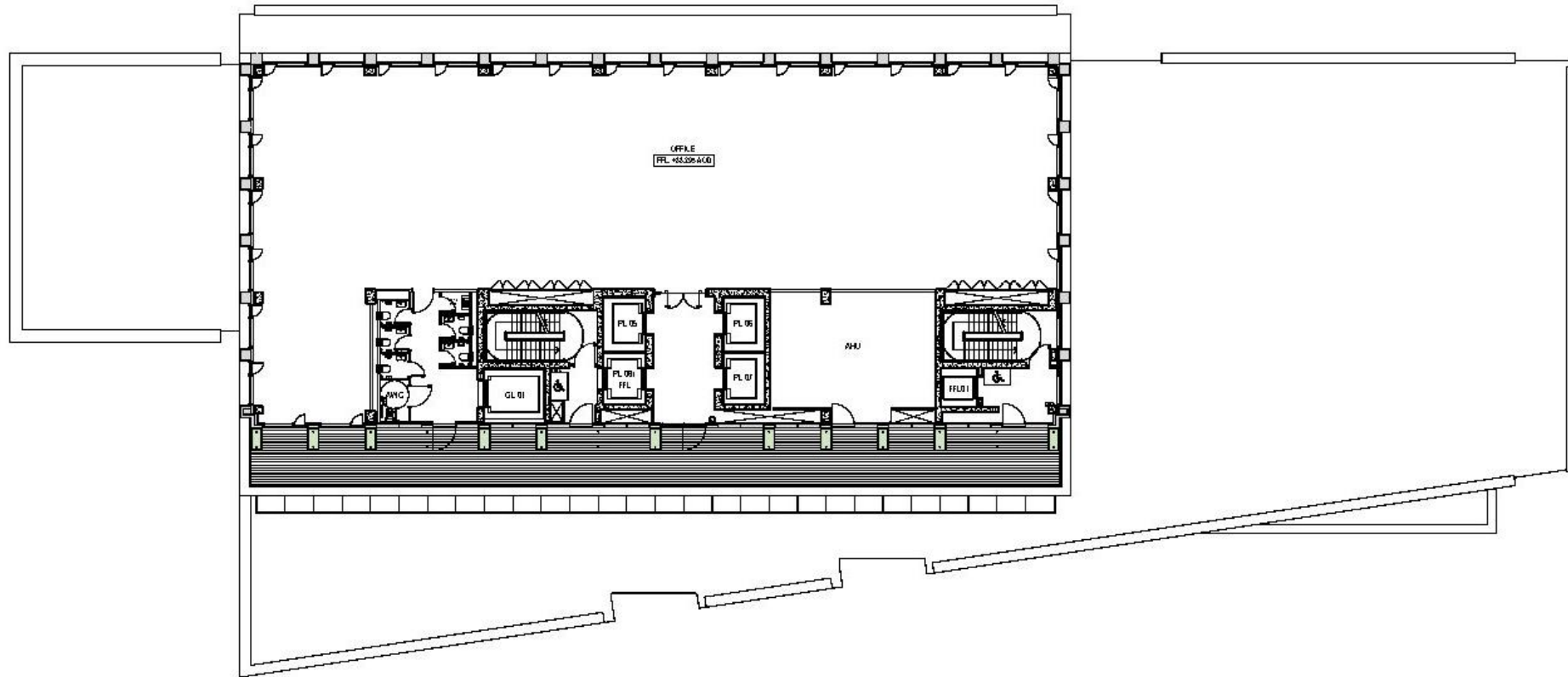
Proposed Fourteenth Floor Plan



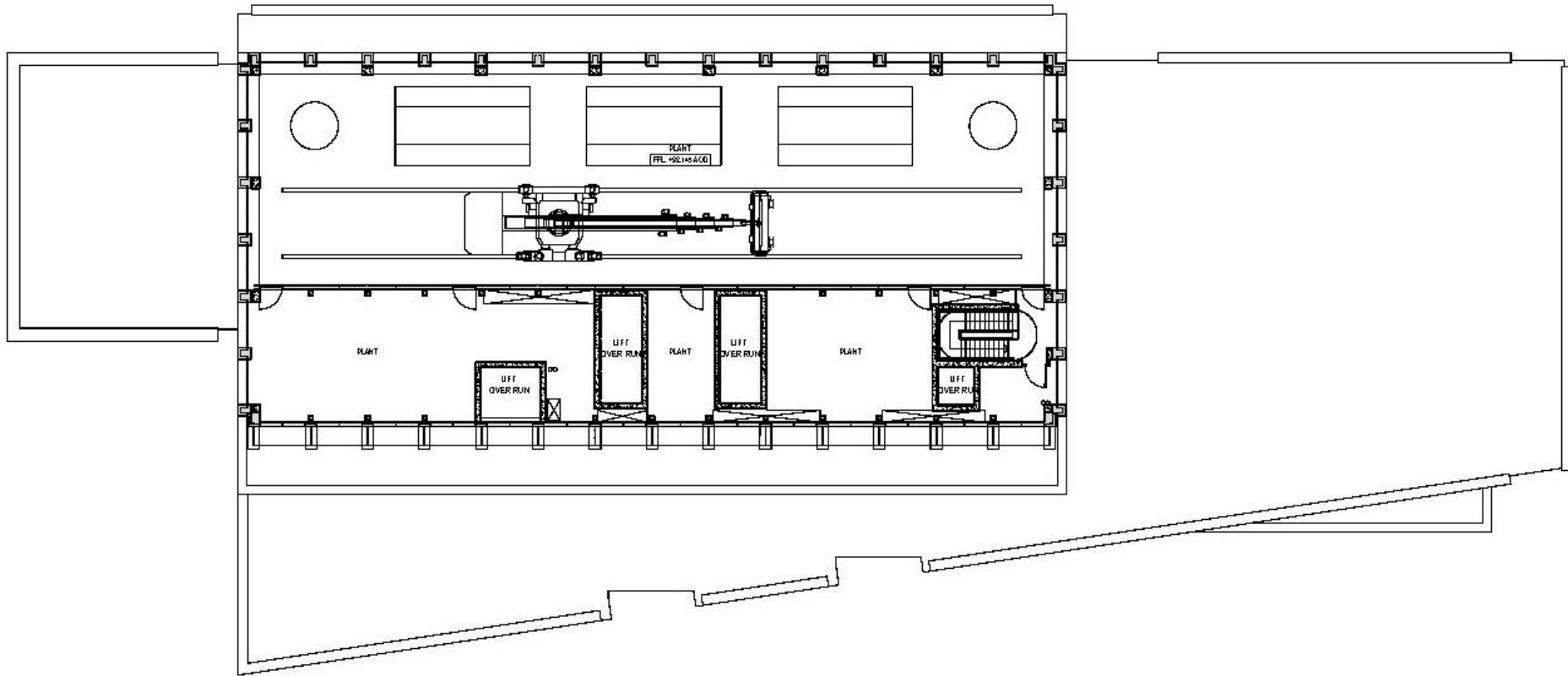
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Fifteenth to Eighteenth Floor Plan

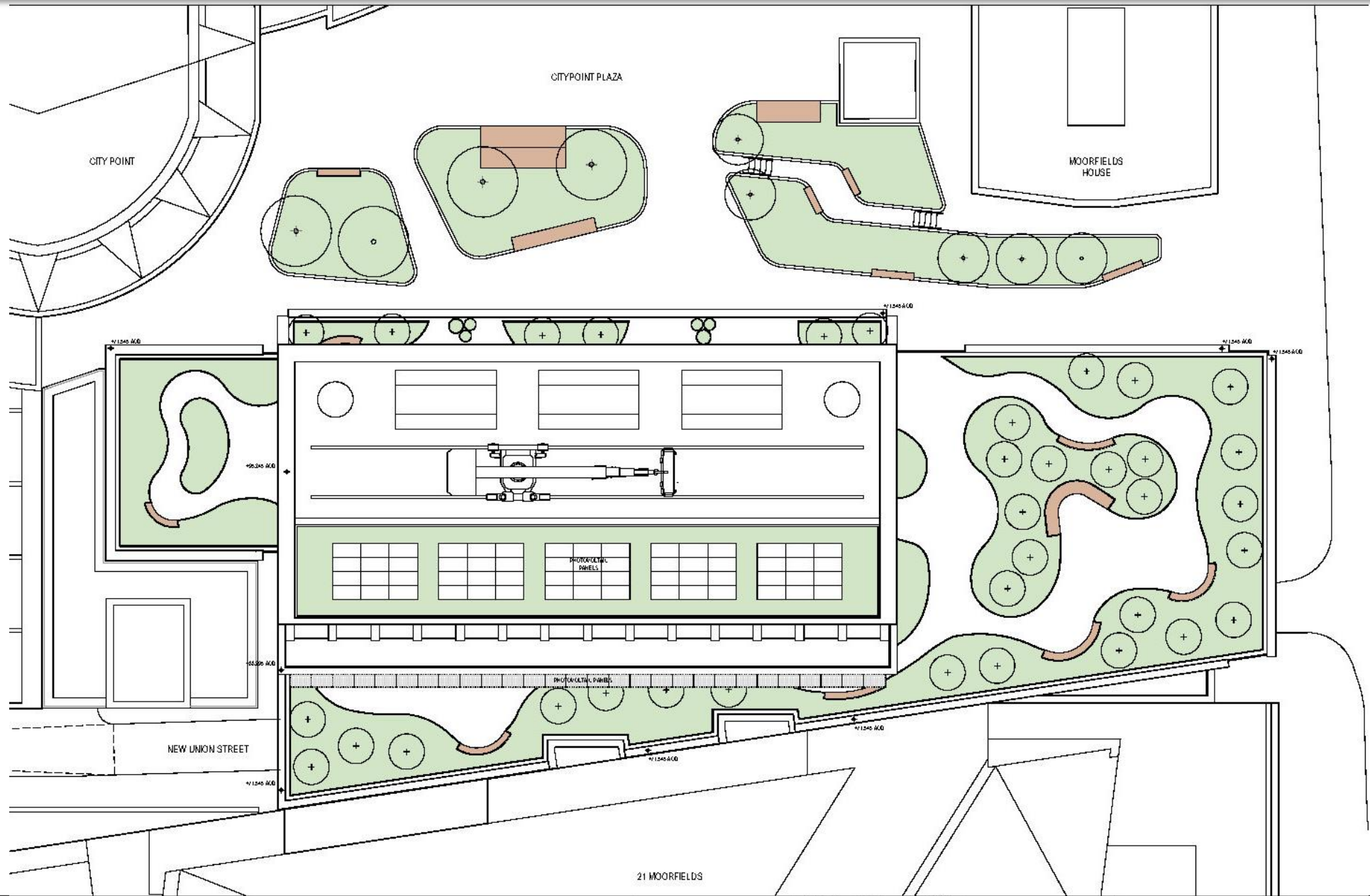


Proposed Nineteenth Floor Plan



Proposed Twentieth Floor Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Proposed Roof Plan



Detailed Elevation – North Elevation

Tenter House, 45 Moorfields, London, EC2Y 9AE



Detailed Elevation – North Elevation



Detailed Elevation – South Elevation



Detailed Elevation – East and West Elevations





Detailed East Elevation



Detailed Elevation – East Elevation



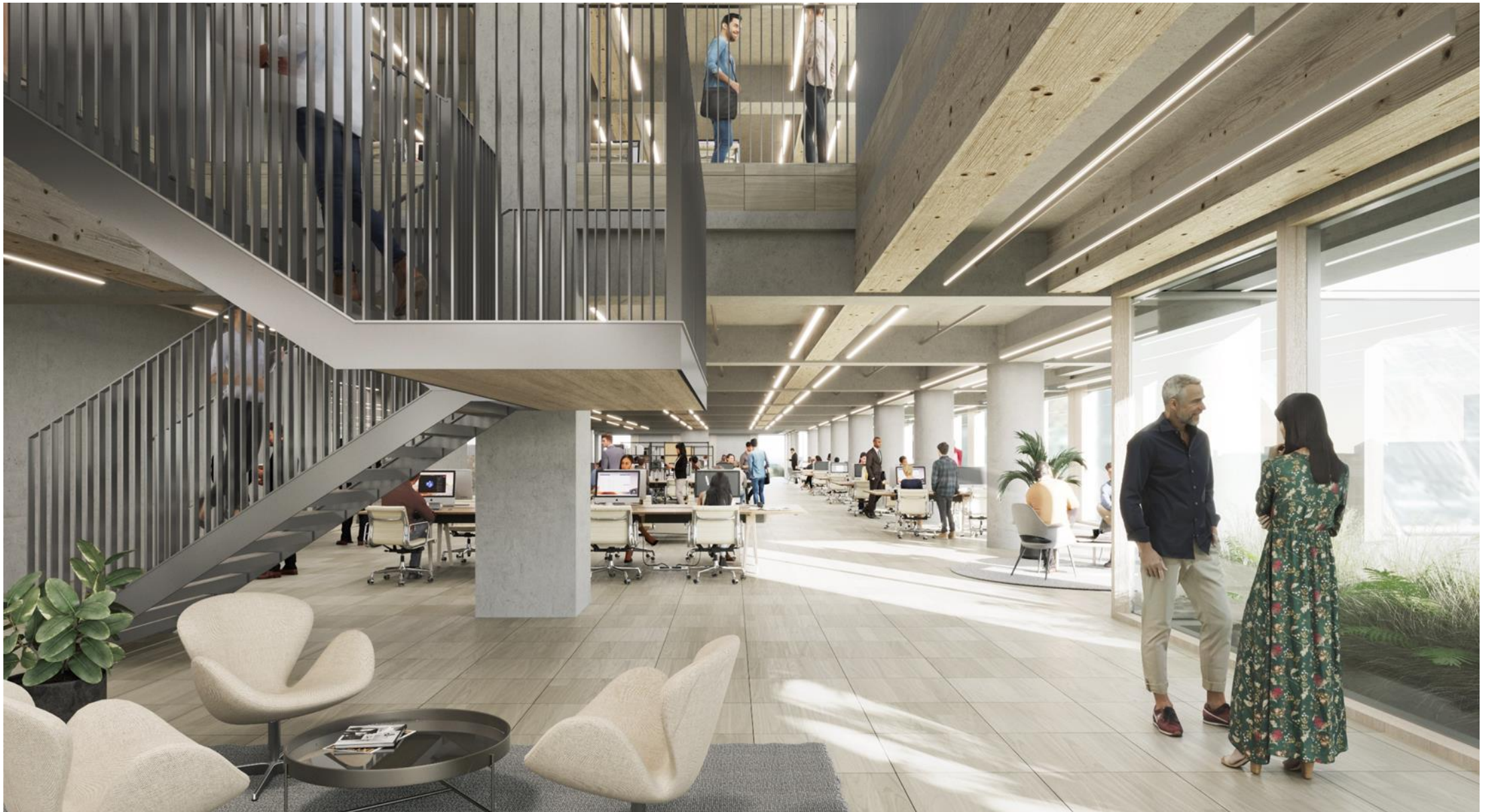
Detailed Elevation – West Elevation



Detailed Elevation – Eastern Elevation on Moorfields



Detailed Elevation – Interaction between Moorfields and City Point Plaza



CGI of Interior Office Floorplate

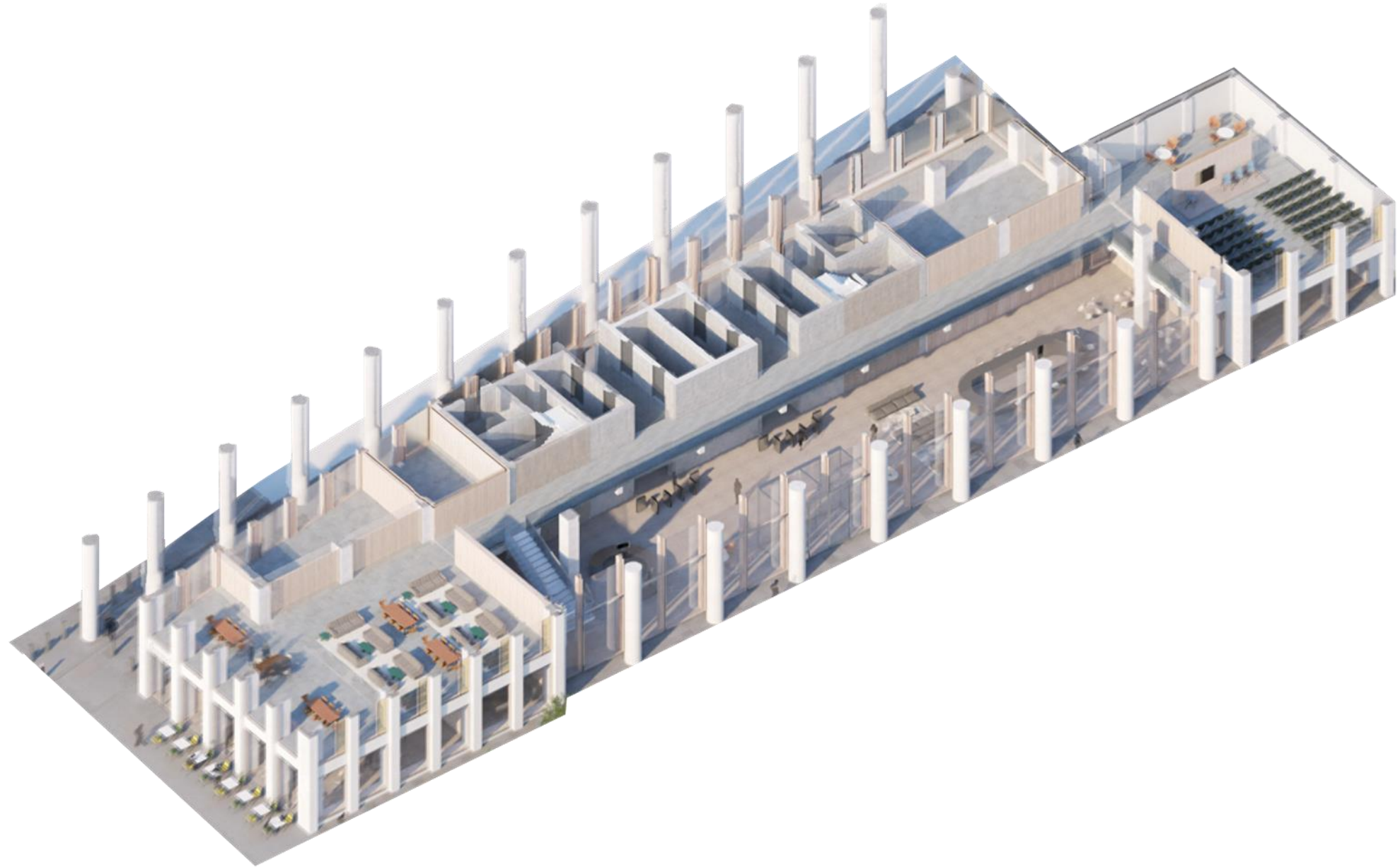


CGI of office reception



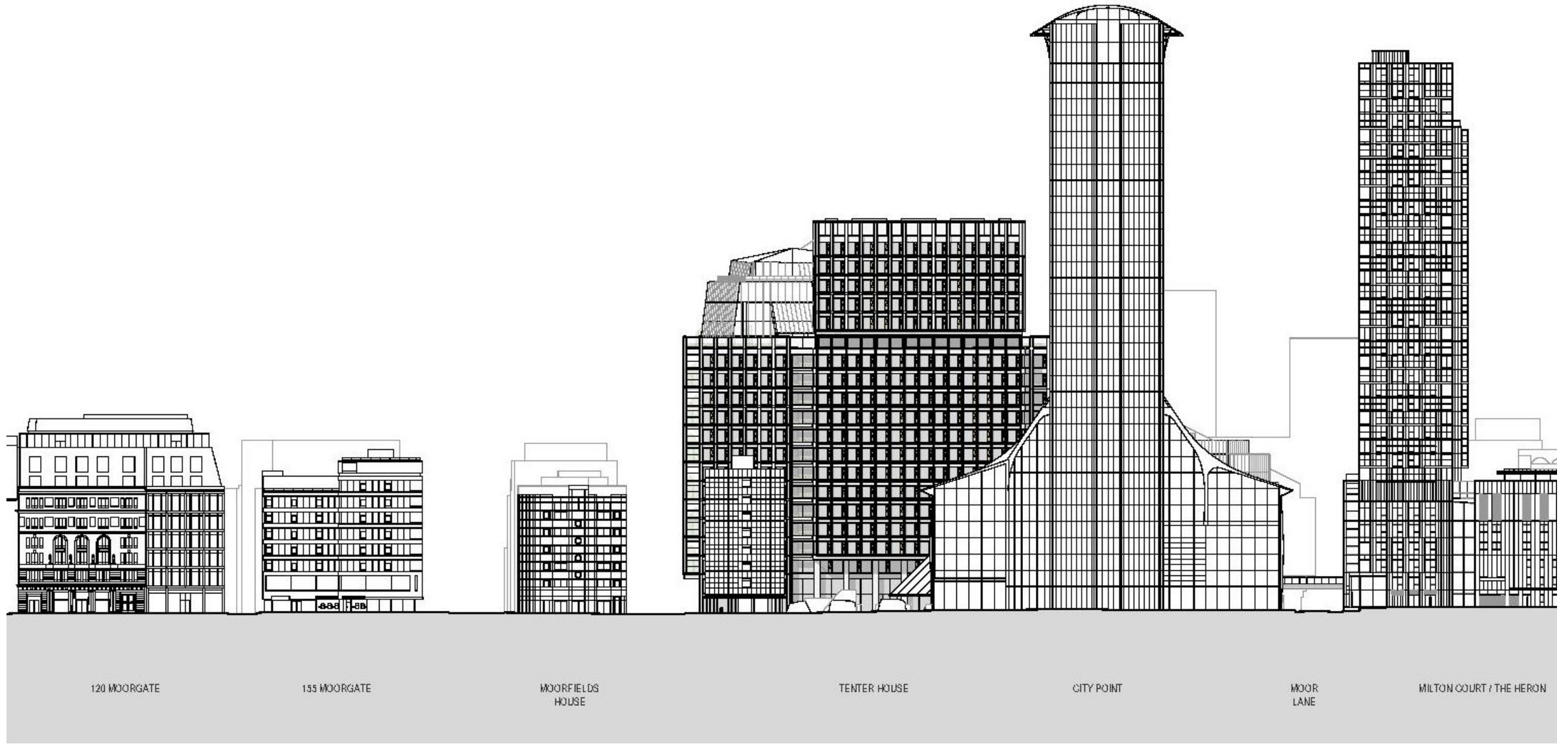
CGI of community unit and access from Plaza





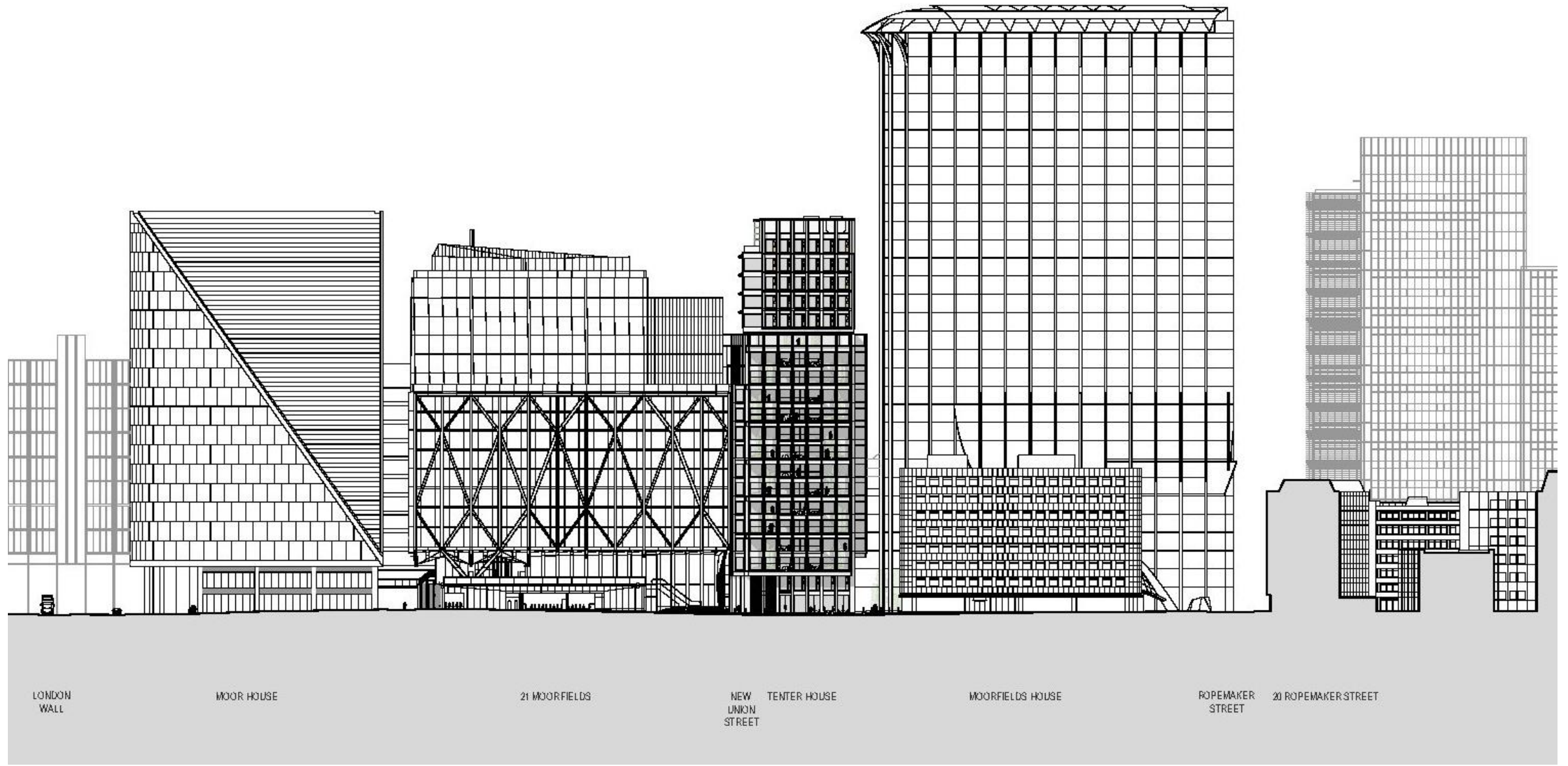
Animated Ground Floor Plan

# Tenter House, 45 Moorfields, London, EC2Y 9AE



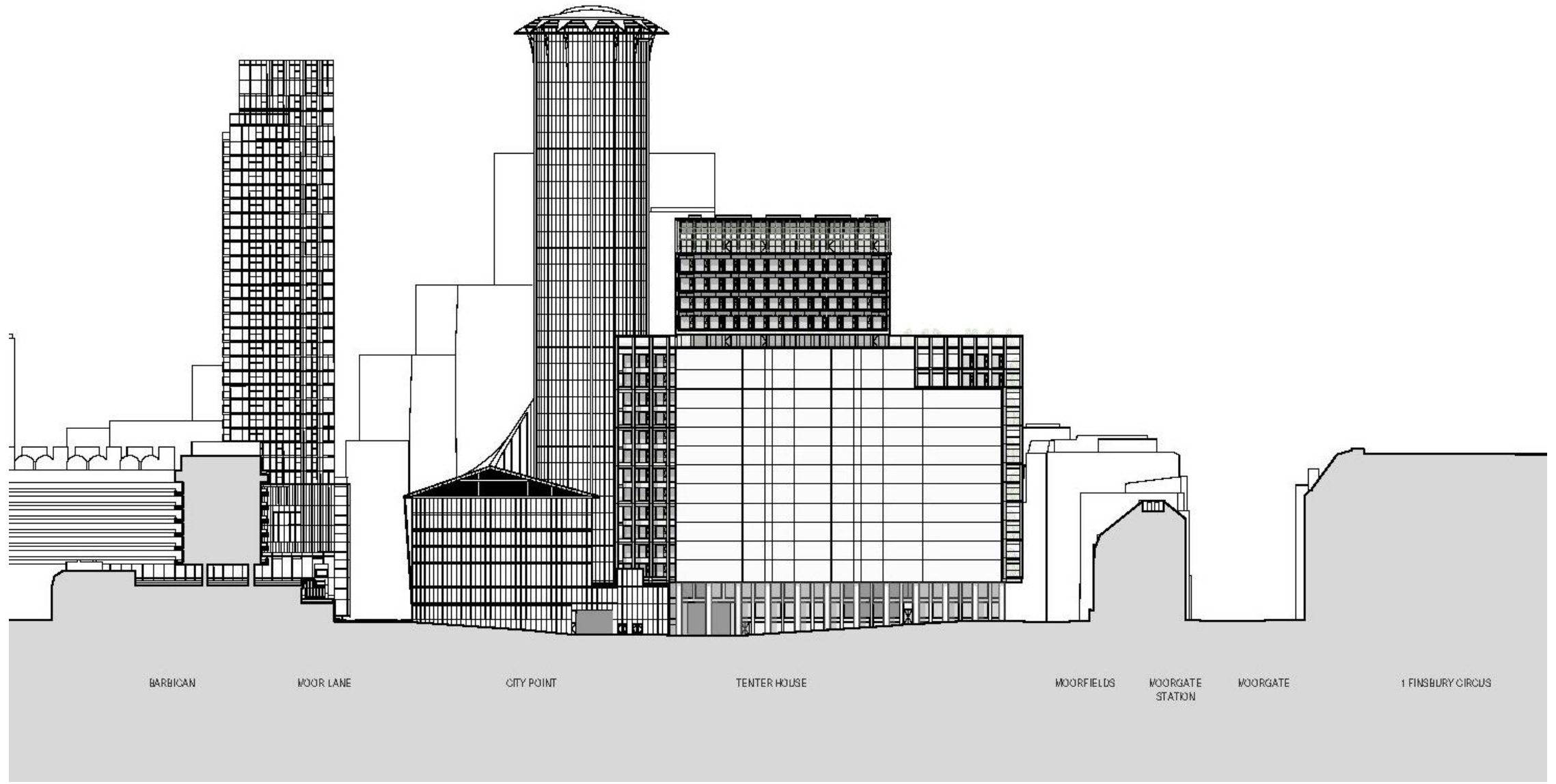
North Elevation of Proposed Development in Context

# Tenter House, 45 Moorfields, London, EC2Y 9AE



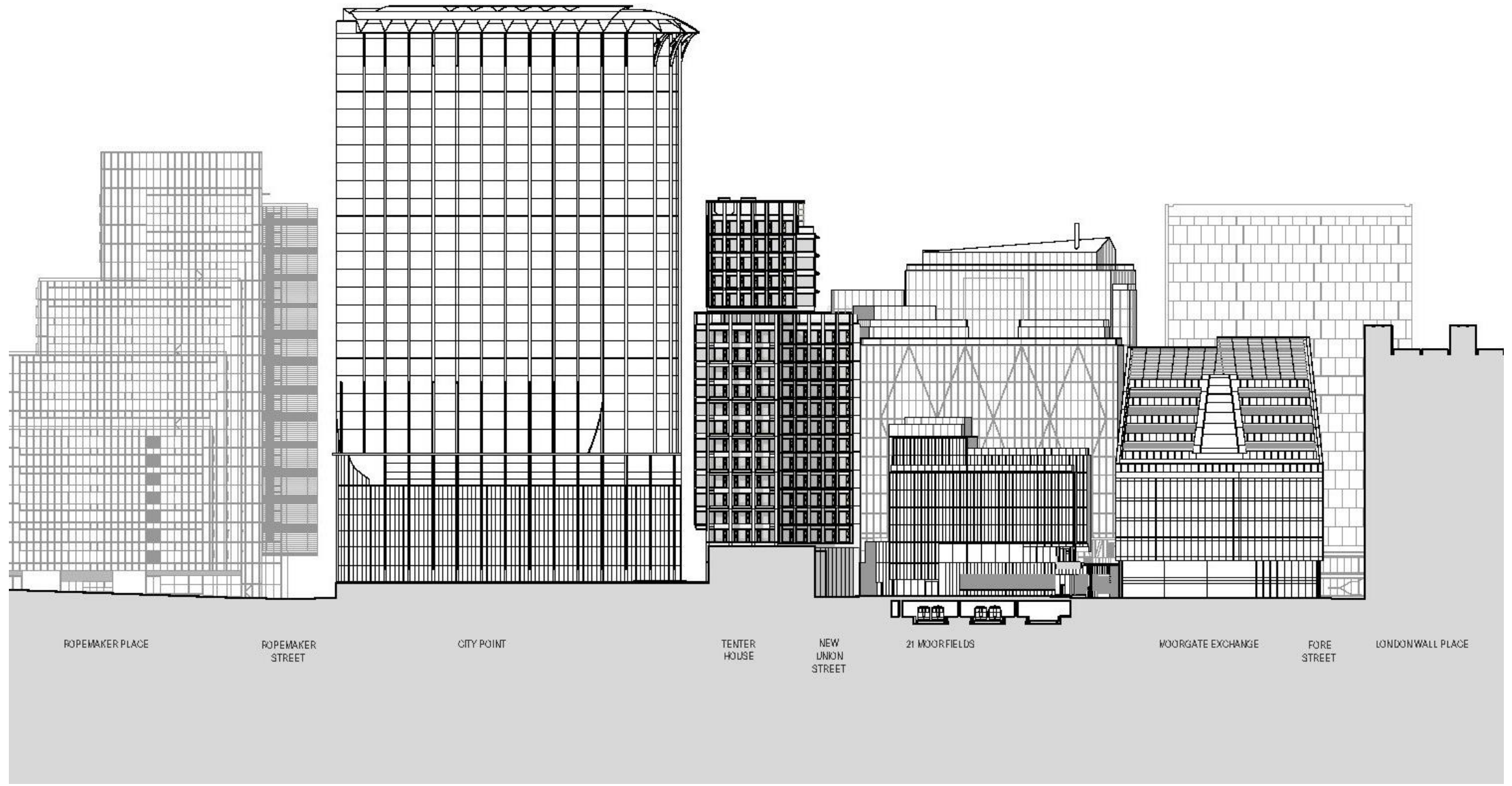
East Elevation of Proposed Development in Context

# Tenter House, 45 Moorfields, London, EC2Y 9AE



South Elevation of Proposed Development in Context

# Tenter House, 45 Moorfields, London, EC2Y 9AE



West Elevation of Proposed Development in Context

# Tenter House, 45 Moorfields, London, EC2Y 9AE

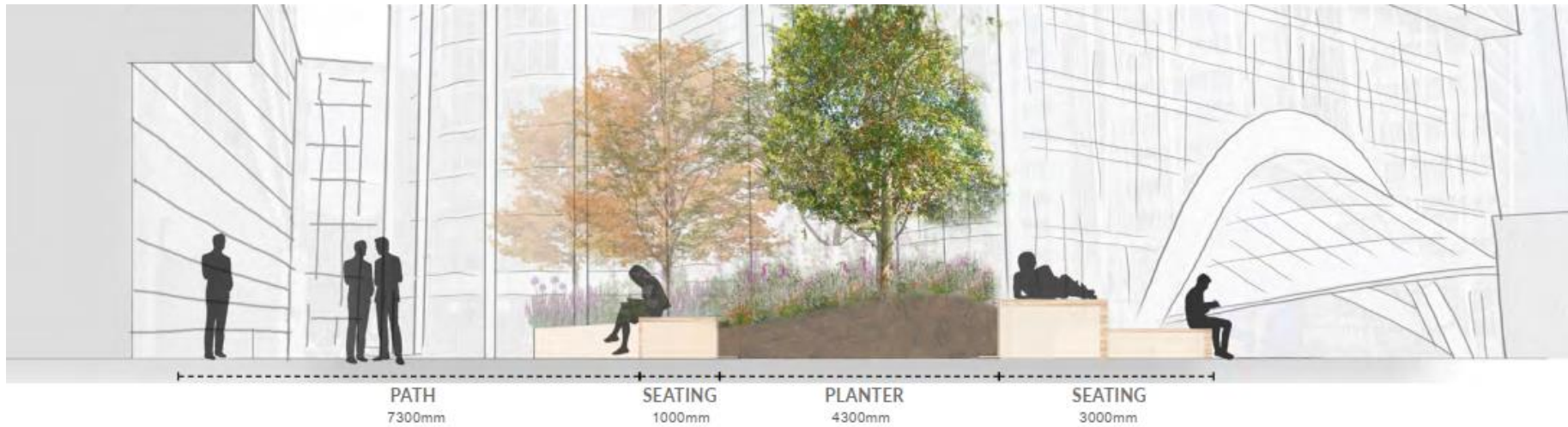


Biodiversity Net Gain – Landscape Proposal for 14<sup>th</sup> Floor Terrace

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Biodiversity Net Gain – Public Realm Greening





Scenario B – Red Boundary Without Ground Floor Greening

**UGF: 0.32**

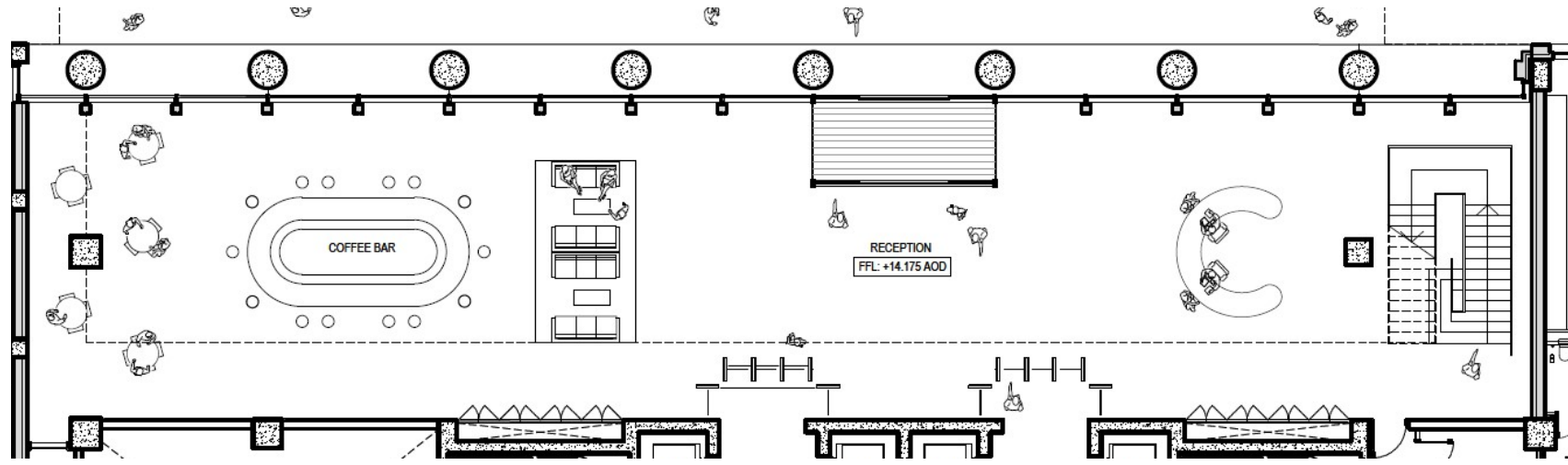
Calculation B, has been based on the planning boundary without considering the green areas within the Plaza.

Surface cover type	Factor	Proposed m2	Proposed factor
Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site	1	0	0
Wetland or open water (semi-natural; not chlorinated) created on site	1	0	0
Intensive green roof of vegetation over structure. Vegetated sections only. Substrate minimum settled depth of 150mm - See Trees in hard landscapes for overview	0.8	955.2	764.16
Standard trees planted in natural soils or in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree – see Trees in Hard Landscapes for overviewB.	0.8	0	0
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) - meets the requirements of GRO code 2014c)	0.7	324.62	227.234
Flower-rich perennial planting – see Centre for Designed Ecology for case-studiesD	0.7	0	0
Rain gardens and other vegetated sustainable drainage elements – See CIRIA for case-studiesE.	0.7	0	0
Hedges (line of mature shrubs one or two shrubs wide) – see RHS for guidanceF.	0.6	0	0
Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree	0.6	245	147
Green wall - modular system or climbers rooted in soil - see NBS Guide to Façade Greening for overviewG	0.6	0	0
Groundcover planting – see RHS Groundcover Plants for overviewH.	0.5	0	0
Amenity grassland (species-poor, regularly mown lawn).	0.4	0	0
Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014L.	0.3	0	0
Water features (chlorinated) or unplanted detention basins.	0.2	0	0
Permeable paving - see CIRIA for overviewI.	0.1	619.47	61.947
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0	0	0

Total urban factor 1200.341  
 Total site footprint 3790

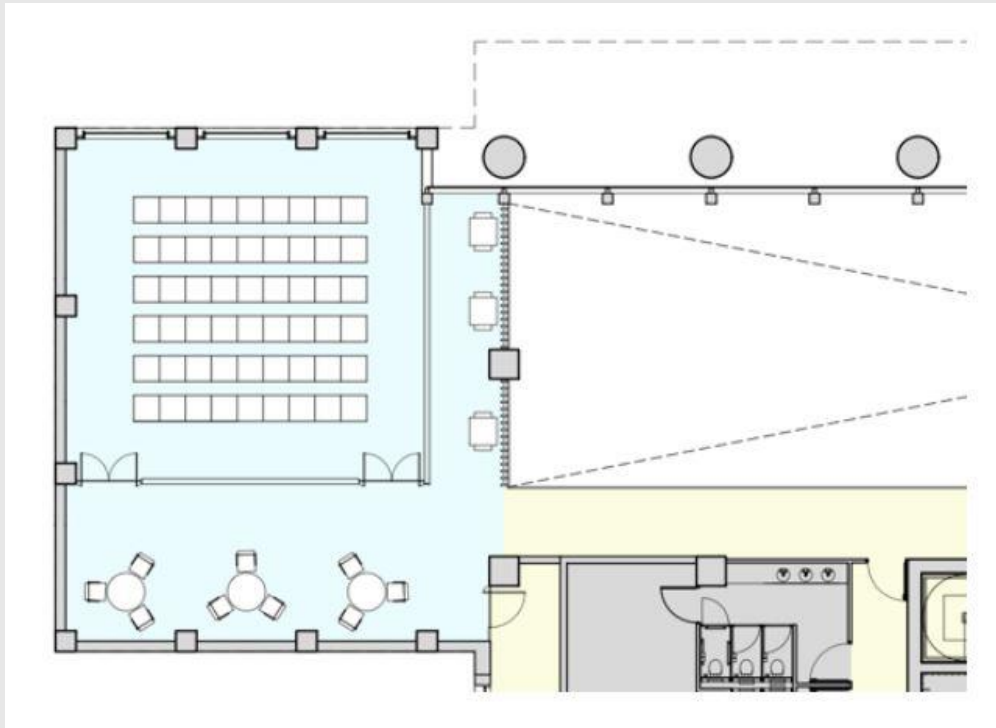
# Tenter House, 45 Moorfields, London, EC2Y 9AE

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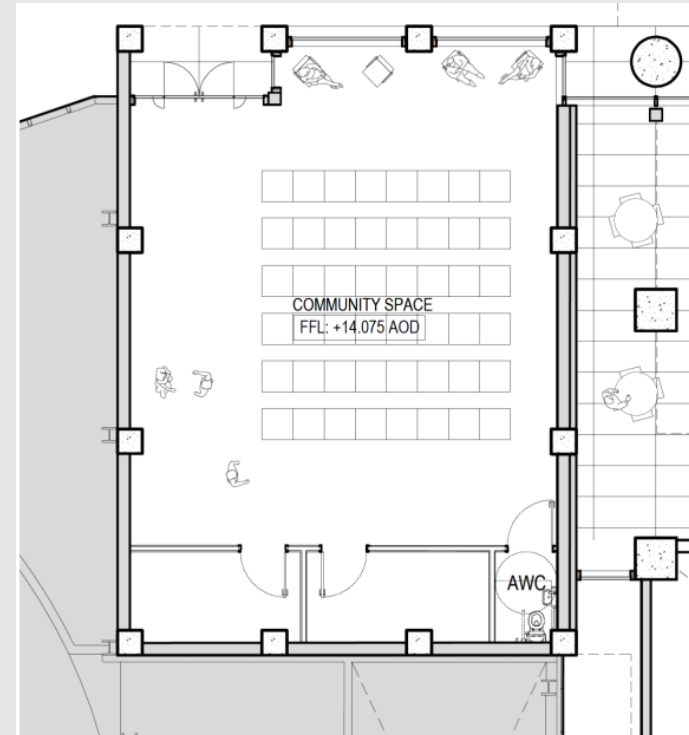


Cultural Offer

February 2024 Submission – First Floor Community Space

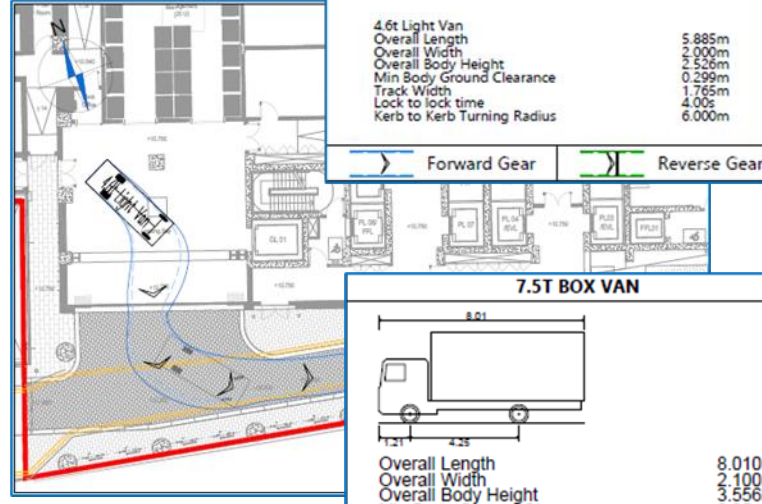
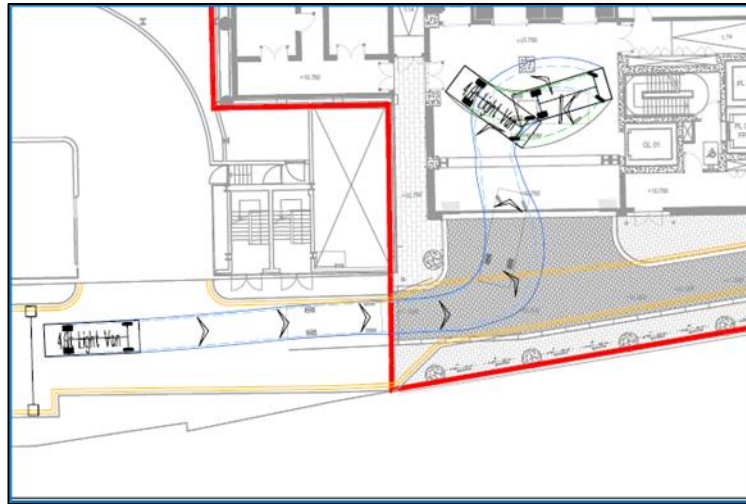


Revised Addendum Submission – Ground Floor Community Space



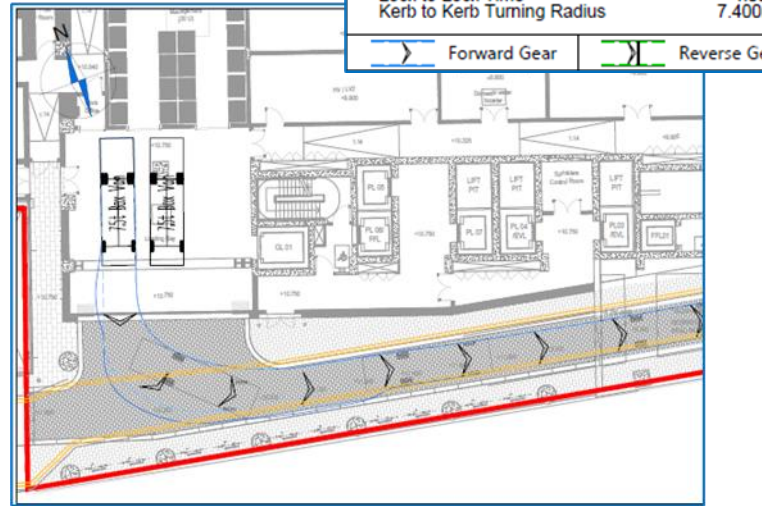
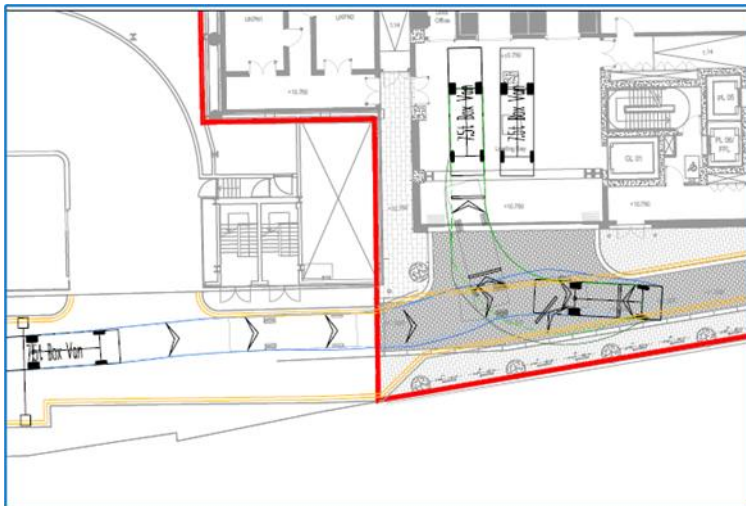
- First Floor Community Space has been relocated to the Ground Floor since the February 2024 Submission.
- The Revised Community Space is now directly accessed from the lowered City Point Plaza at Ground Floor. The lowered position of the Community Space presents an invitation to people of all abilities, to access the space and take part in activities and events.
- The Revised First Floor Community Floor Space does not include the February 2024's requirement for furniture and programming infrastructure to be moved by lift or staircase, presenting greater potential for the Community Space to be reconfigured and utilised for local cultural organisations.

# Tenter House, 45 Moorfields, London, EC2Y 9AE



4.6t LIGHT VAN	
Overall Length	5.885m
Overall Width	2.000m
Overall Body Height	2.520m
Min Body Ground Clearance	0.299m
Track Width	1.765m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	6.000m

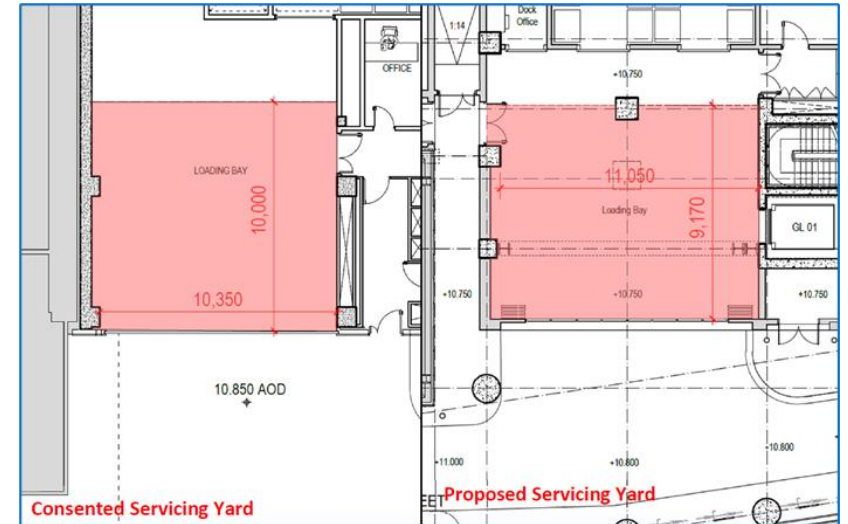
7.5T BOX VAN	
Overall Length	8.010m
Overall Width	2.100m
Overall Body Height	3.556m
Min Body Ground Clearance	0.351m
Track Width	2.064m
Lock to Lock Time	4.00s
Kerb to Kerb Turning Radius	7.400m



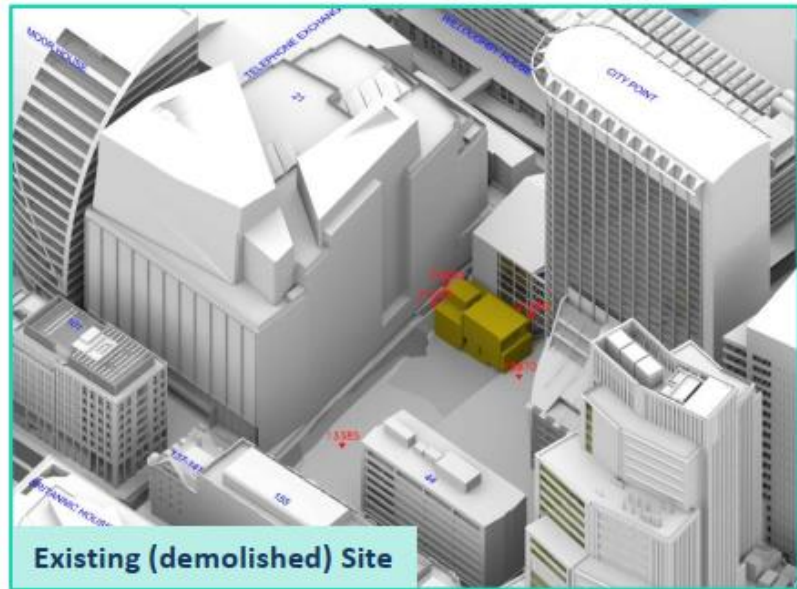
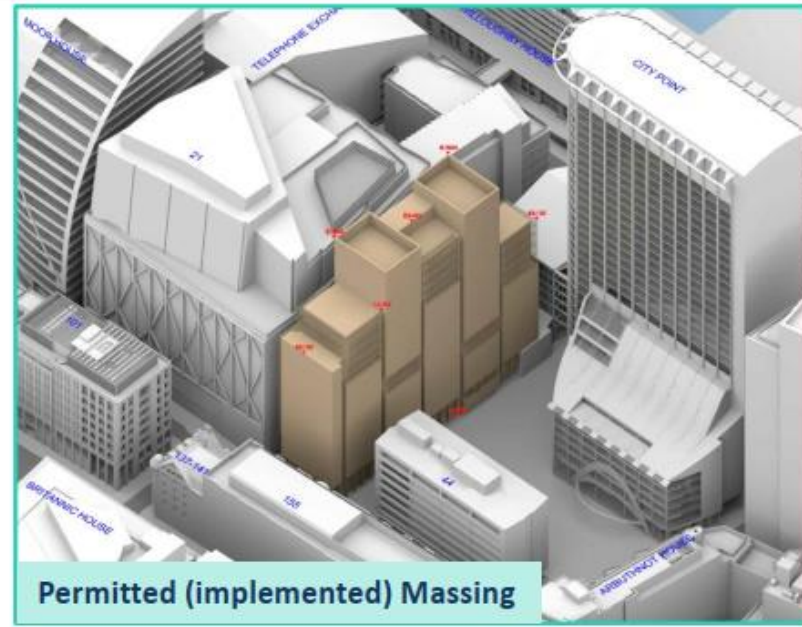
The Servicing Bay remains of a similar size to the consented.

The proposed servicing strategy would result in 41 daily trips, the same as the consented scheme, with the same control on hours, acoustic doors, and vehicle types/sizes.

5 vehicles per day would reverse into the bay similar to the consented, with all others being small vehicles that can fully turn in the bay.



# Tenter House, 45 Moorfields, London, EC2Y 9AE



Daylight and Sunlight – Baseline Conditions

# Tenter House, 45 Moorfields, London, EC2Y 9AE

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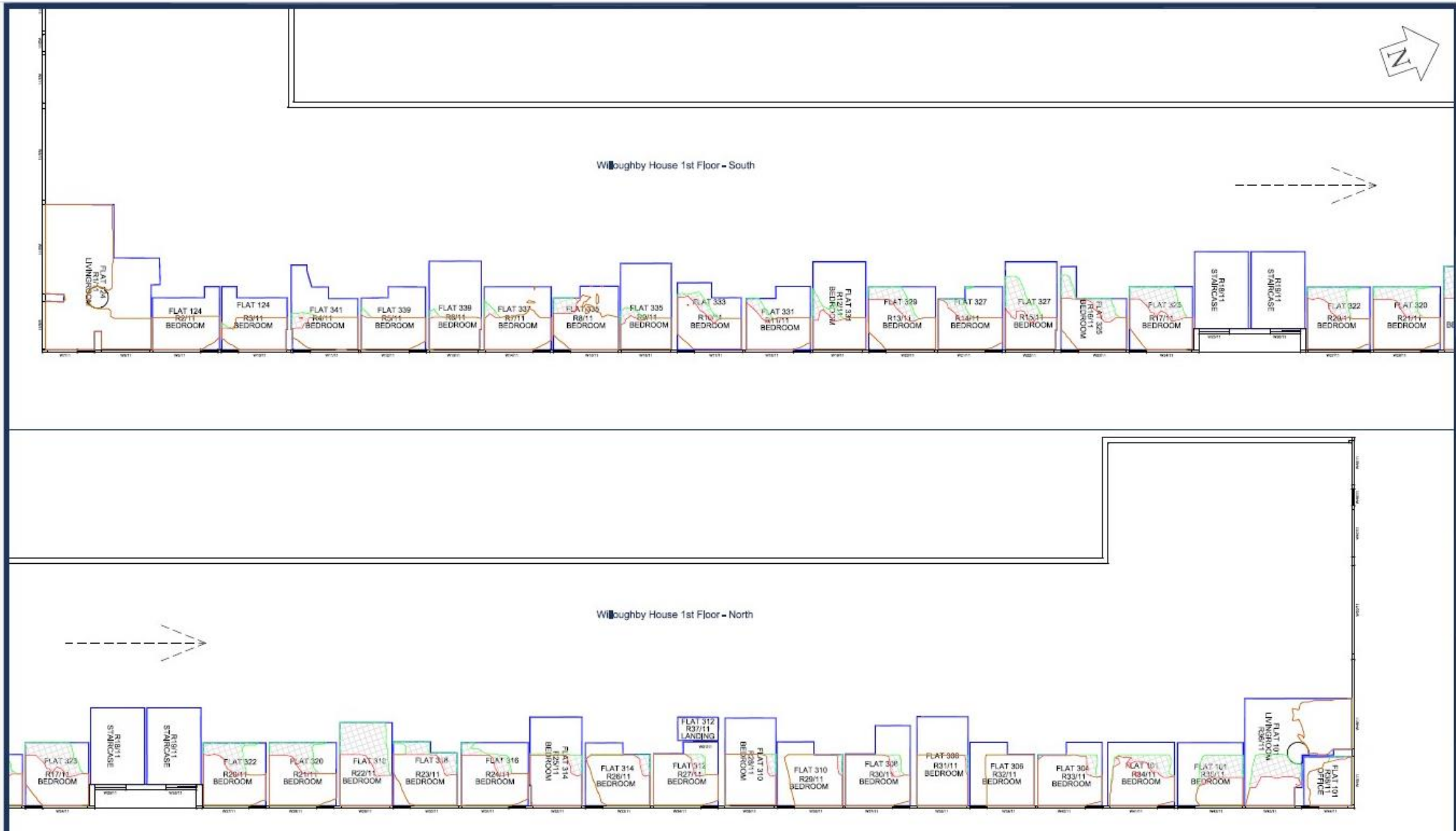
VSC – with balconies



VSC – without balconies

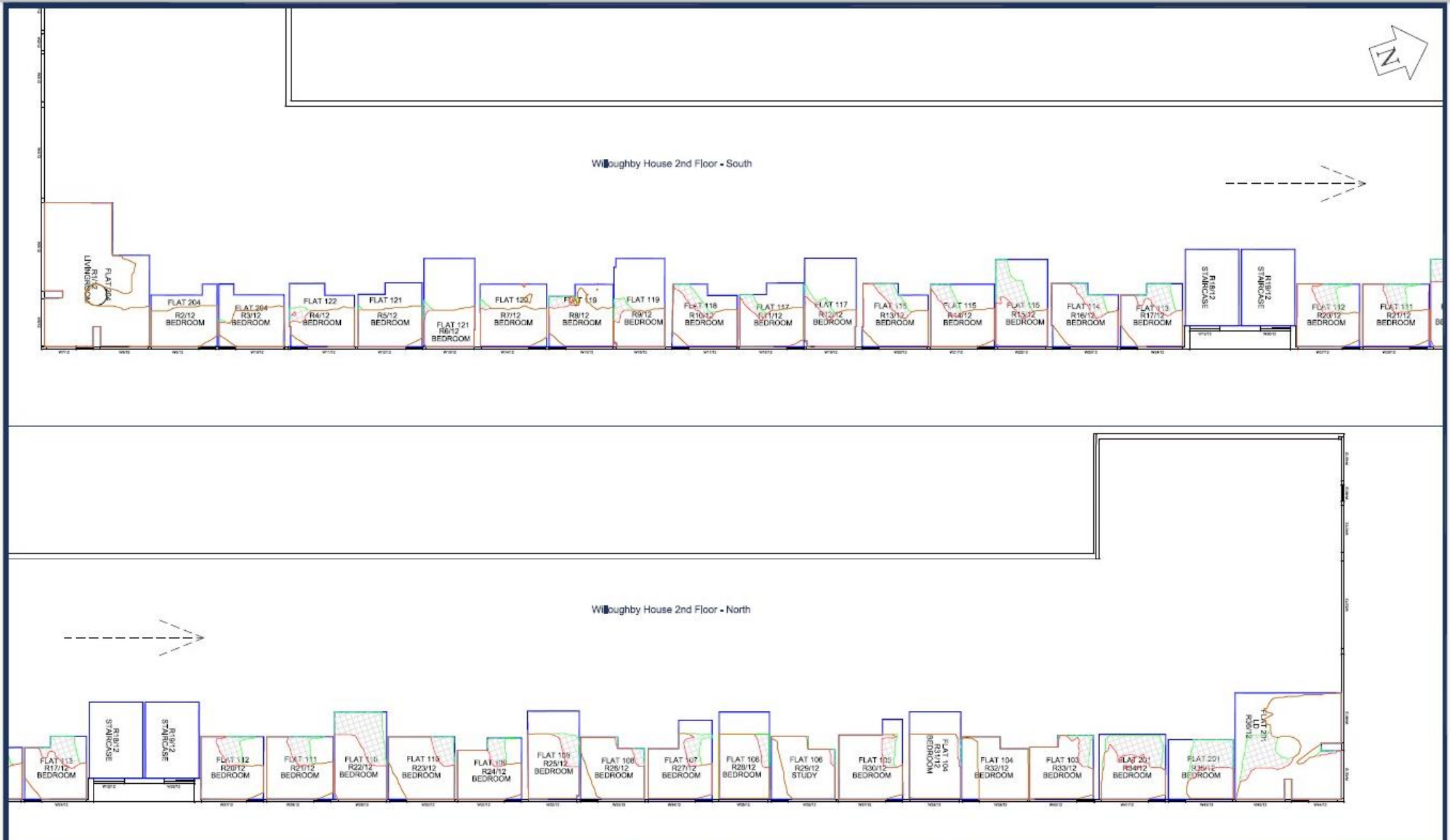
Daylight and Sunlight – Pre-existing vs proposed VSC

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE



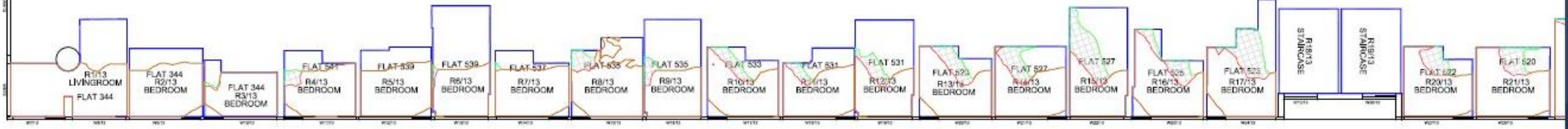
Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)



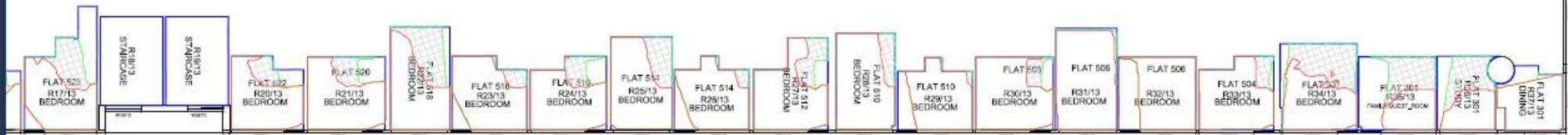
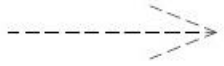
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Wooloughby House 3rd Floor - South



Wooloughby House 3rd Floor - North

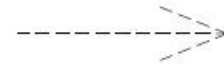


Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

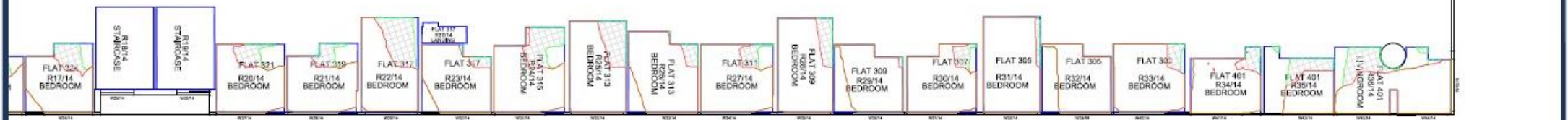
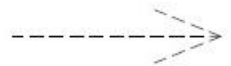
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Willoughby House 4th Floor - South



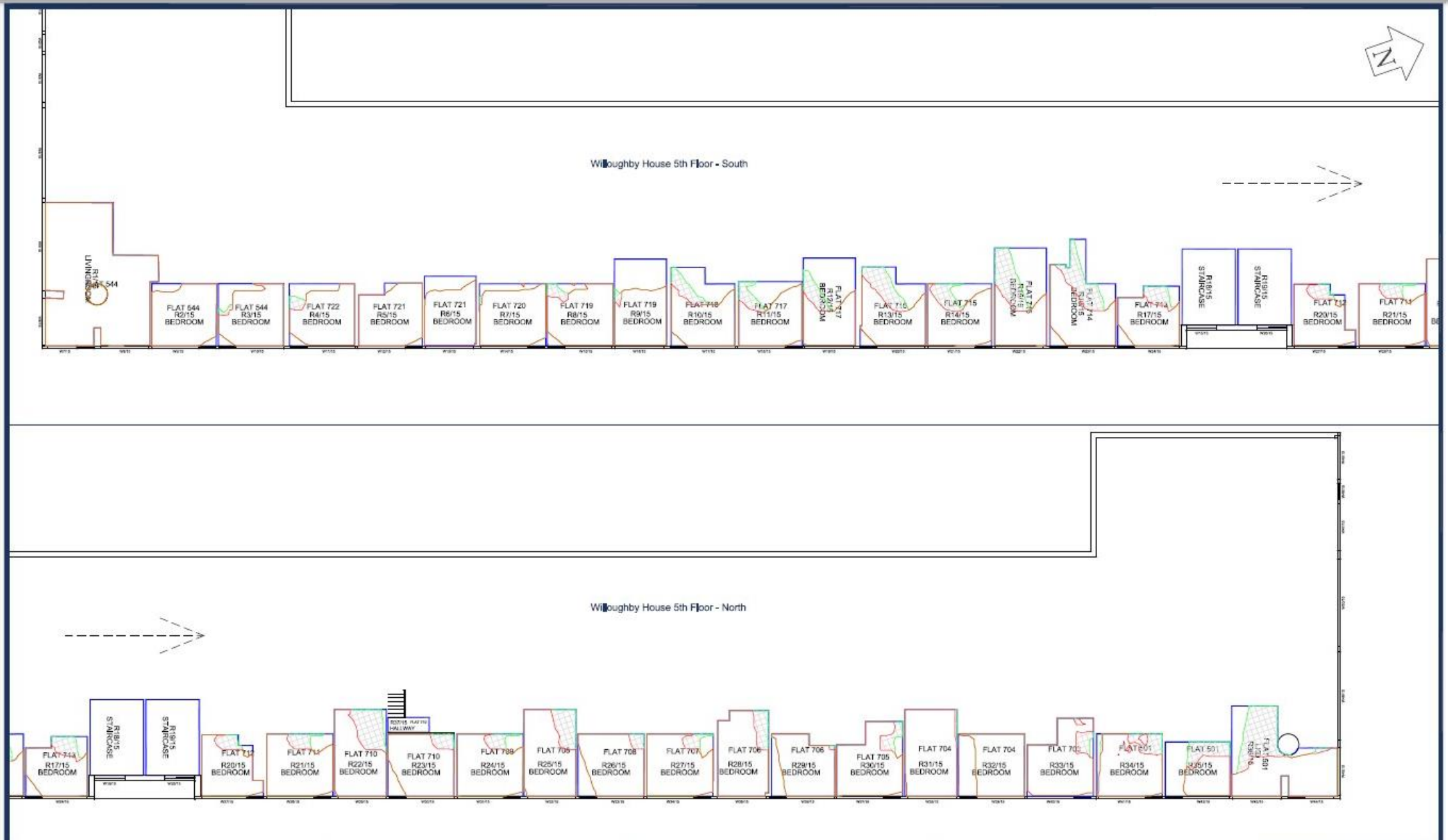
Willoughby House 4th Floor - North



Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

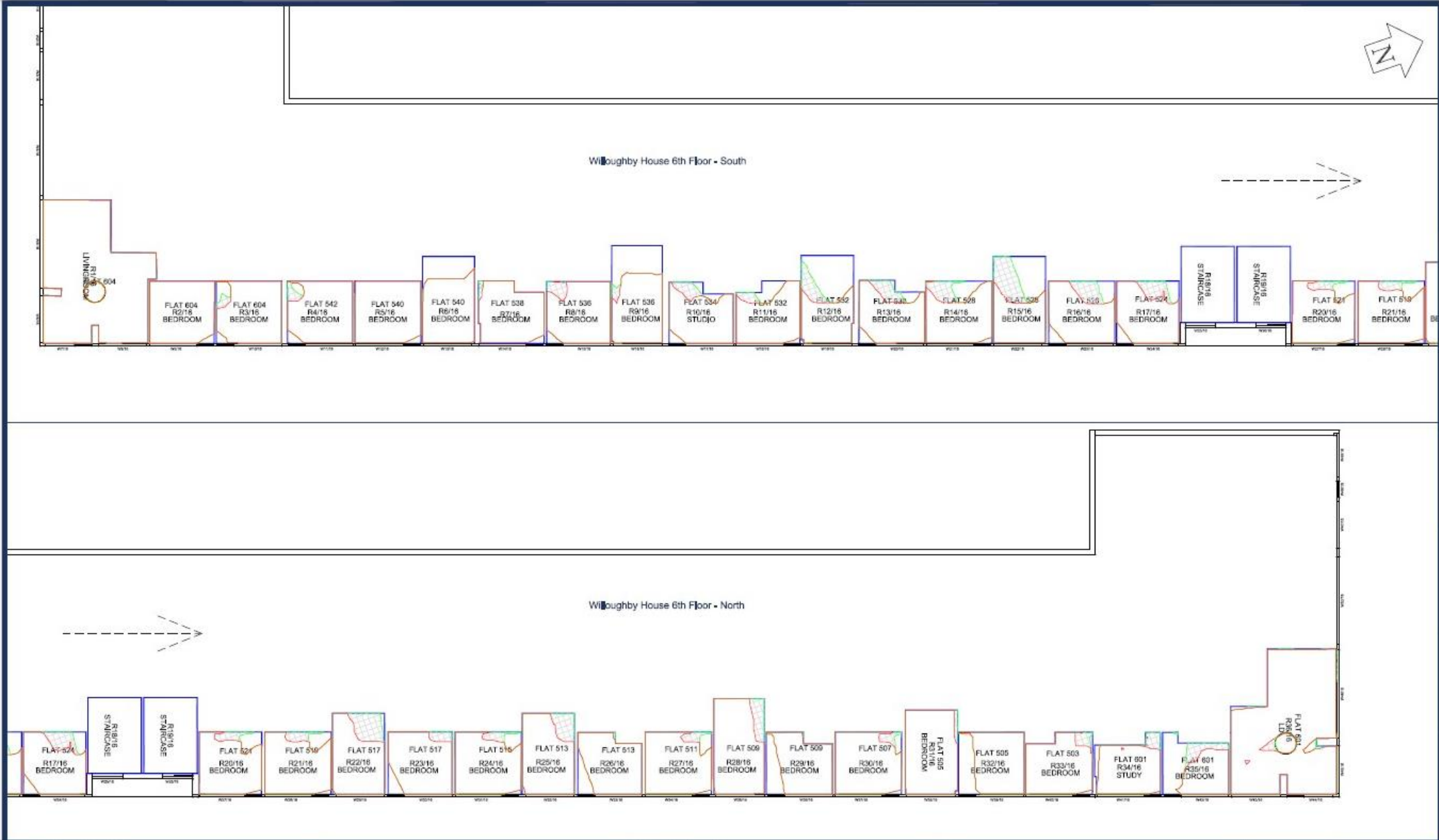
# Tenter House, 45 Moorfields, London, EC2Y 9AE

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Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE

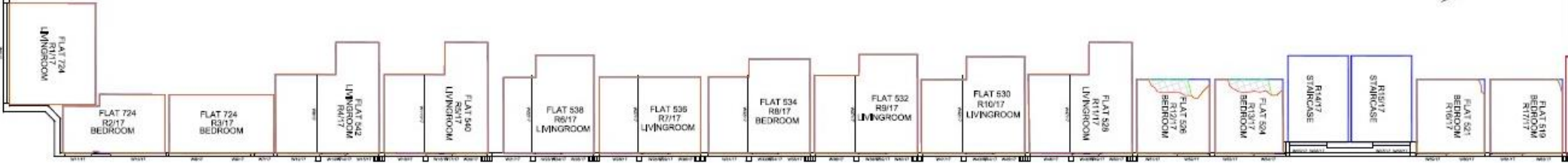
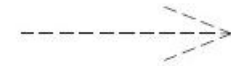


Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

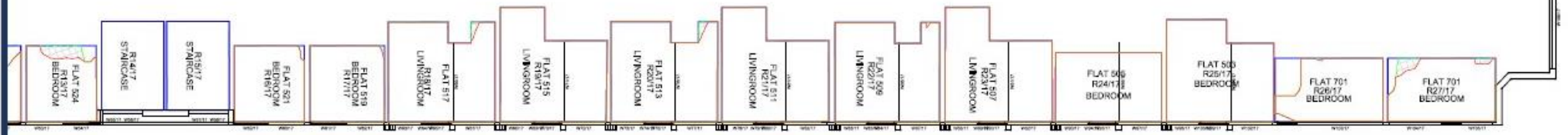
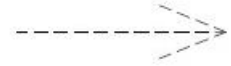
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Willoughby House 7th Floor - South

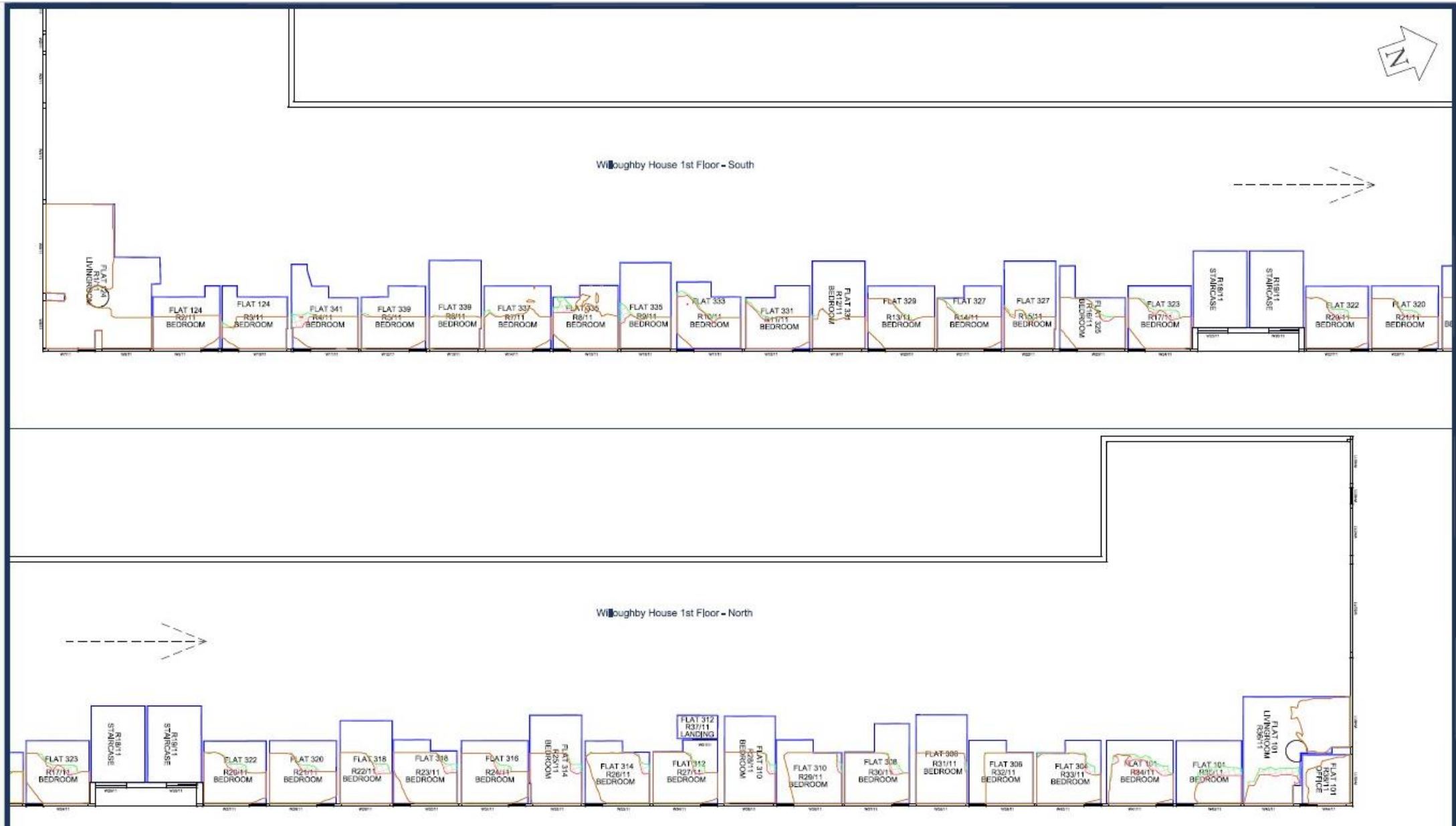


Willoughby House 7th Floor - North



Daylight and Sunlight – Pre-existing vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE



Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)

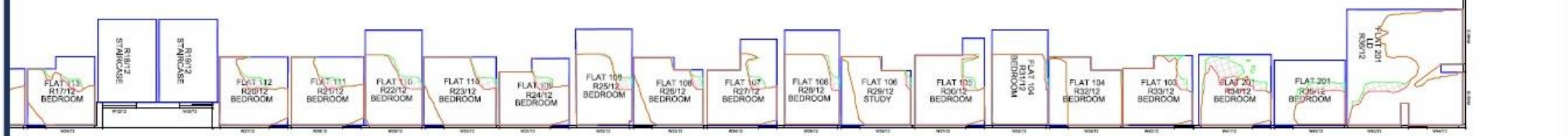
# Tenter House, 45 Moorfields, London, EC2Y 9AE



Willoughby House 2nd Floor - South



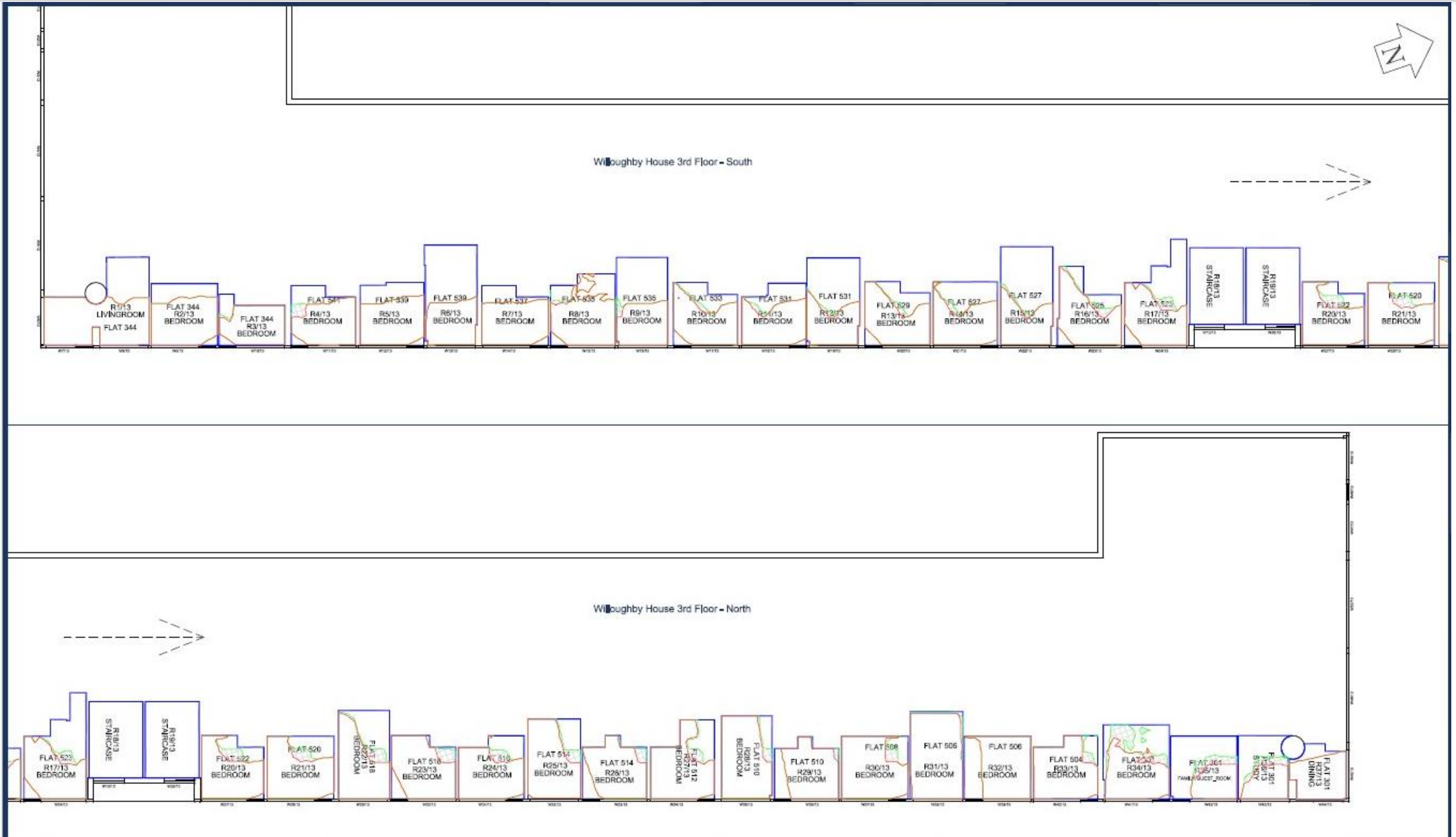
Willoughby House 2nd Floor - North



Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE

e 72

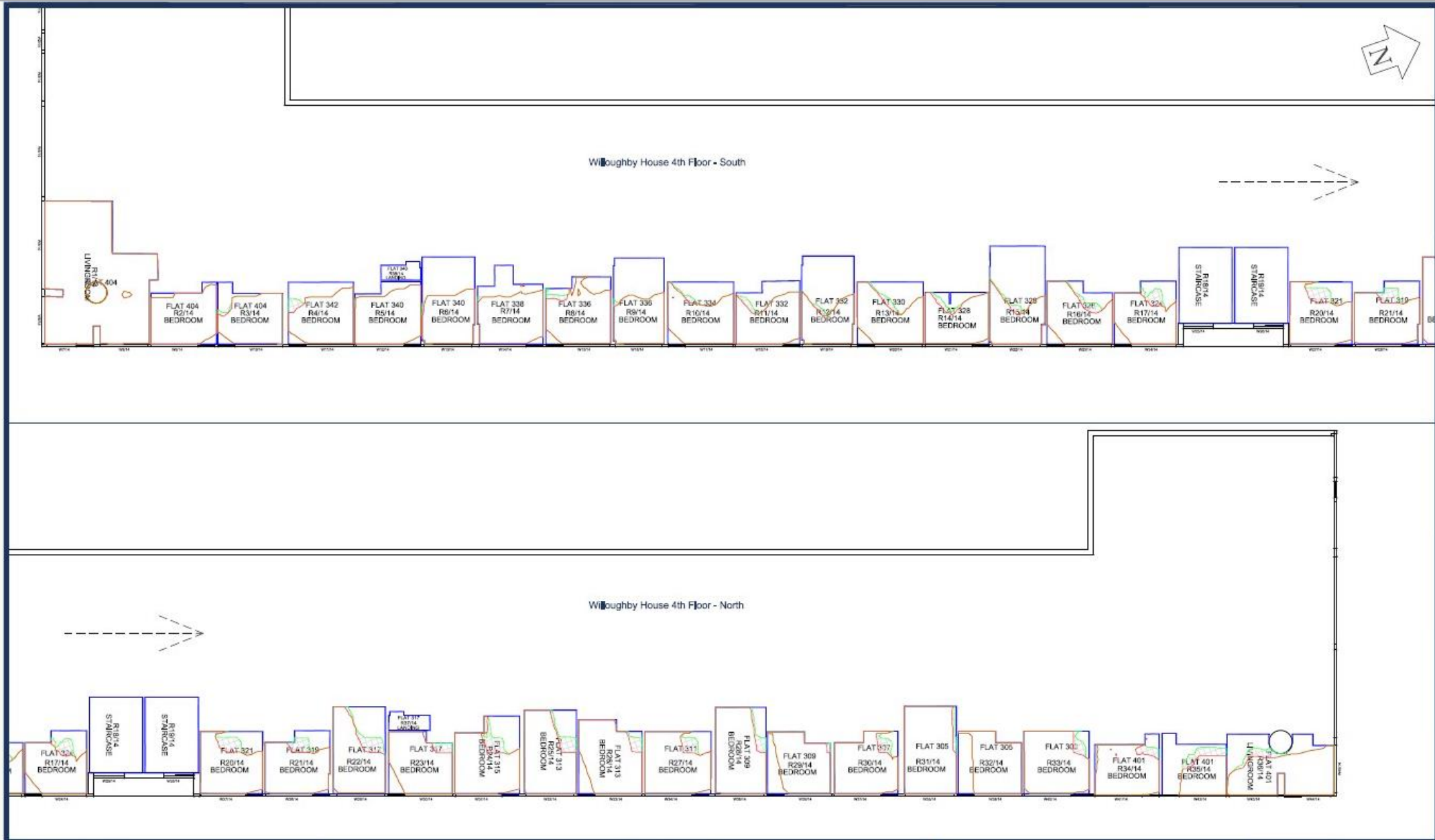


Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)



# Tenter House, 45 Moorfields, London, EC2Y 9AE

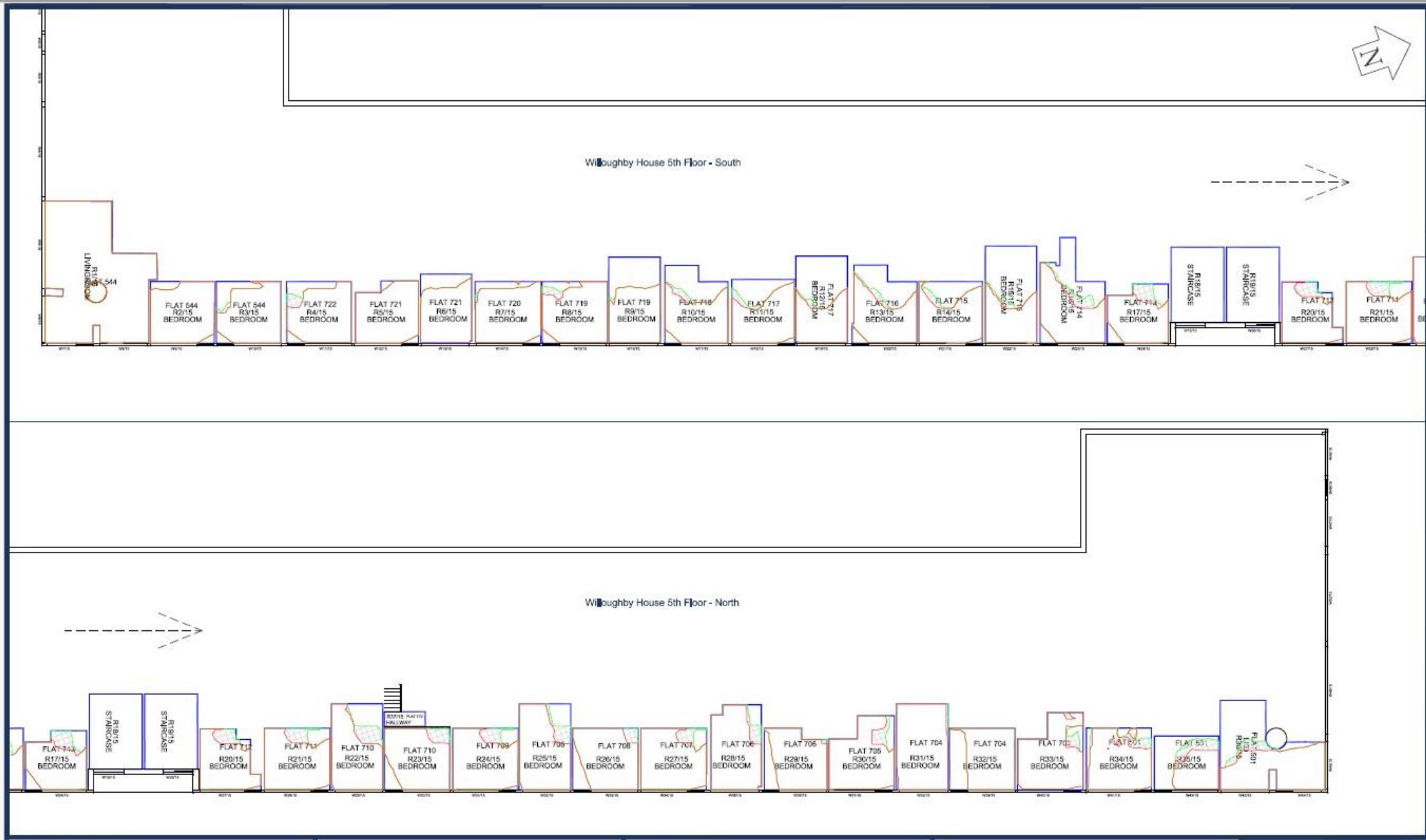
e 73



Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE

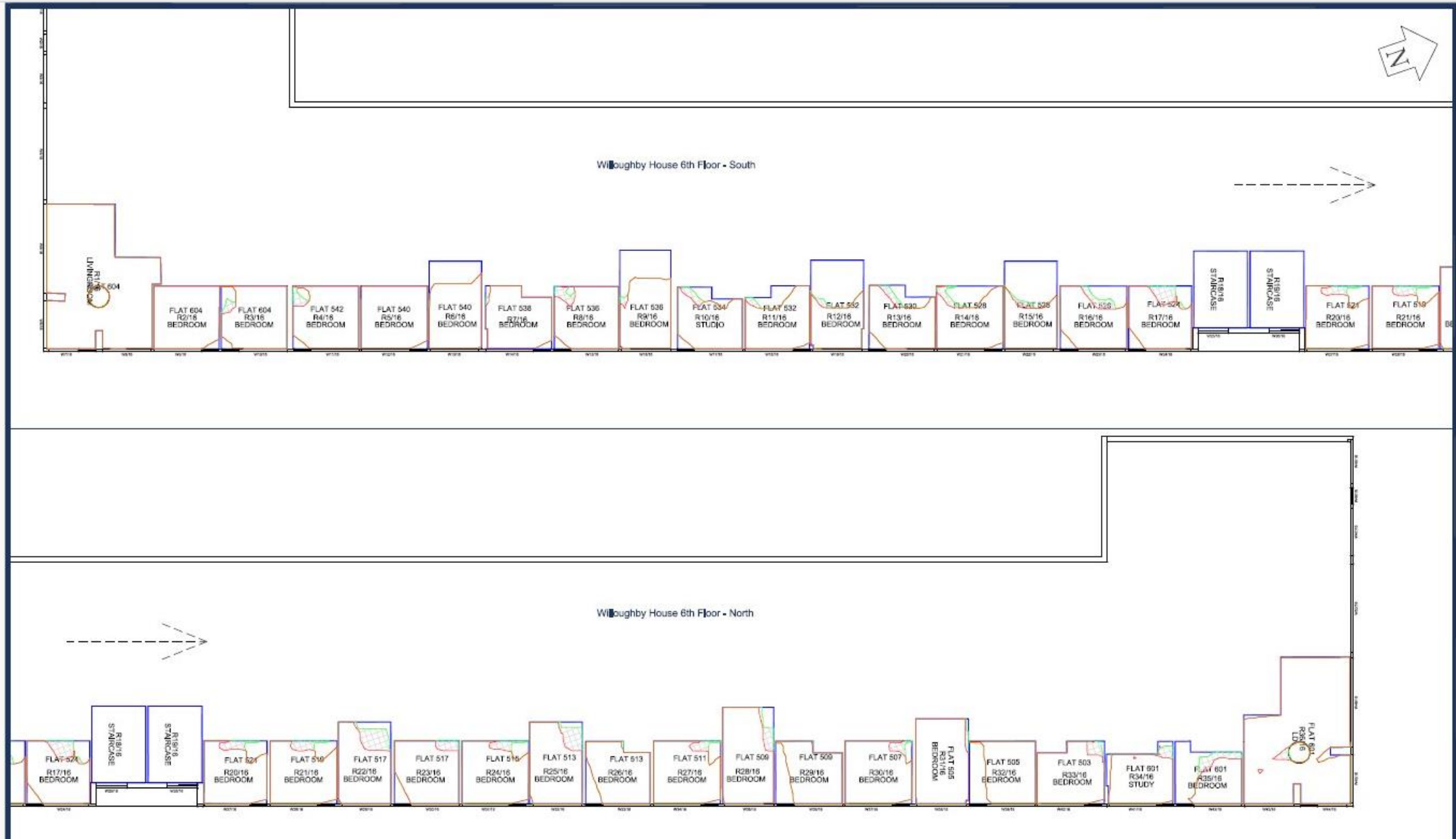
Page 74



Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)

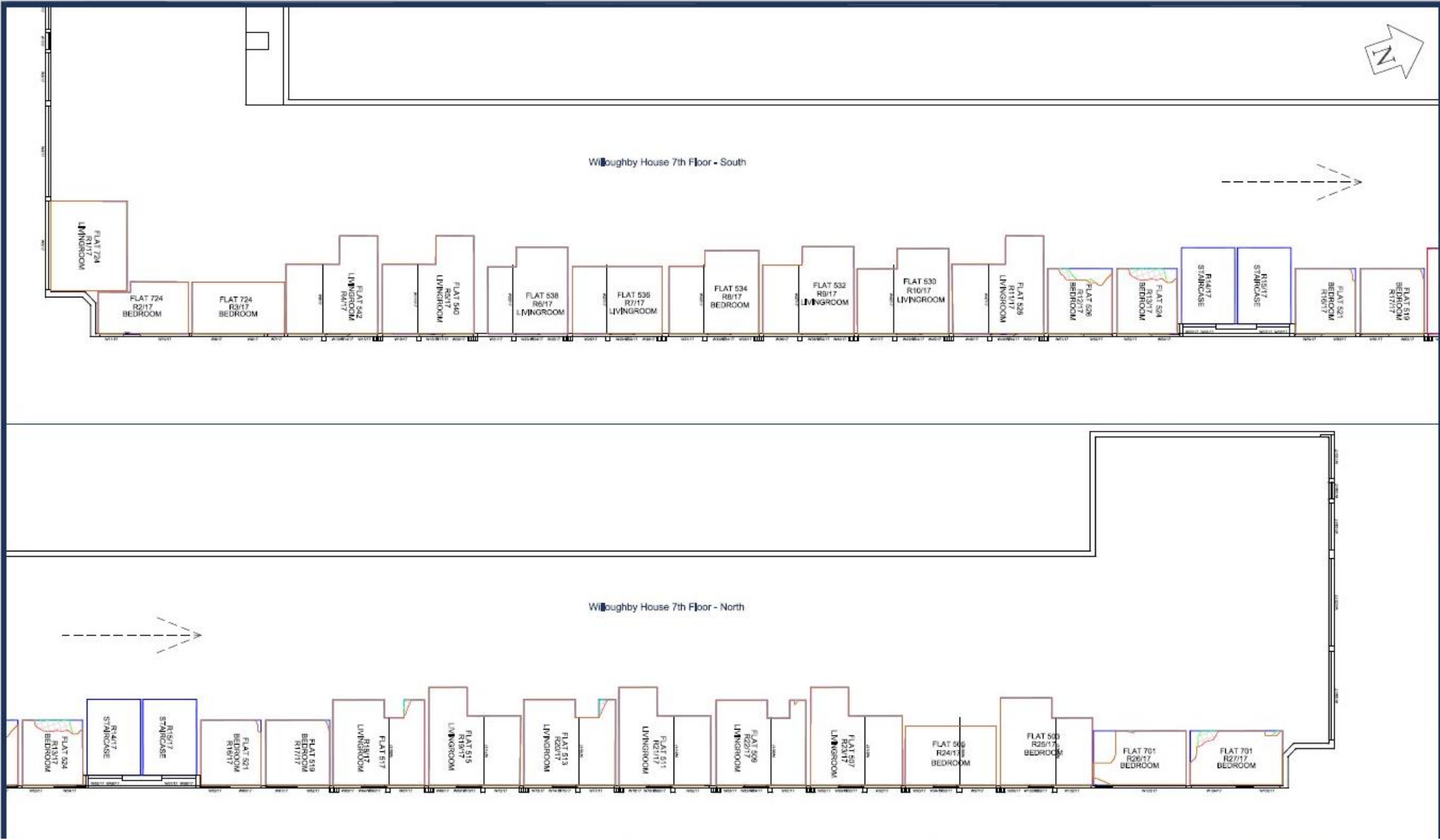
# Tenter House, 45 Moorfields, London, EC2Y 9AE

Page 75

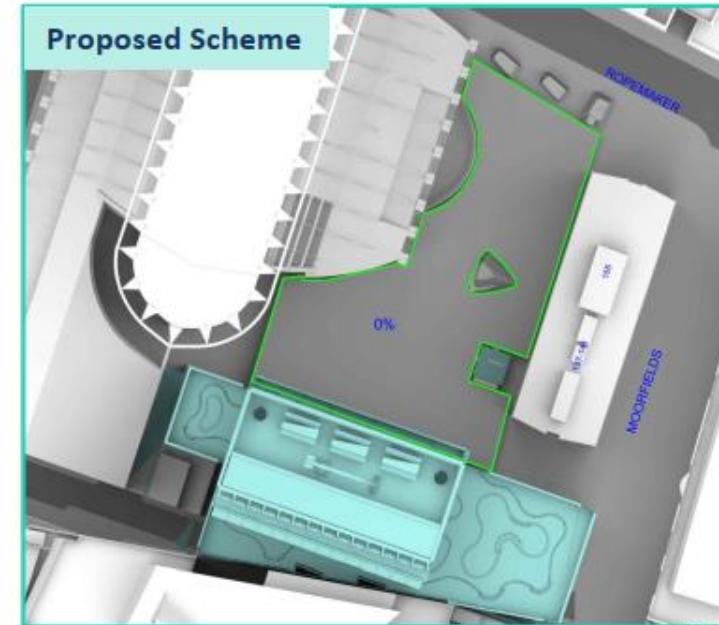
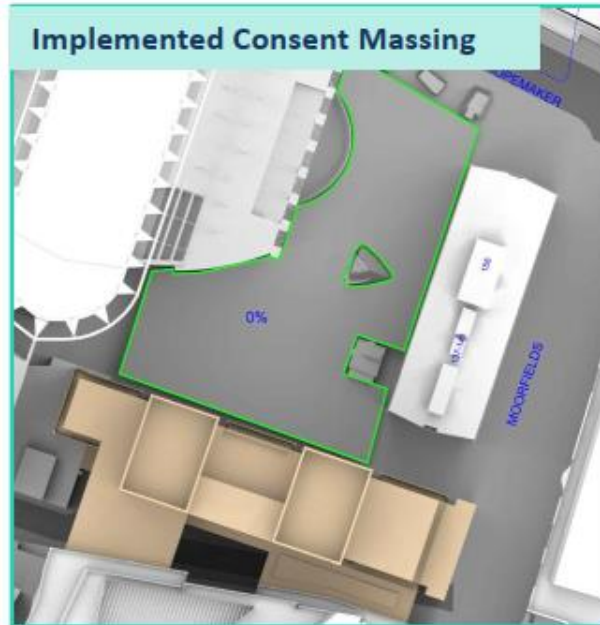
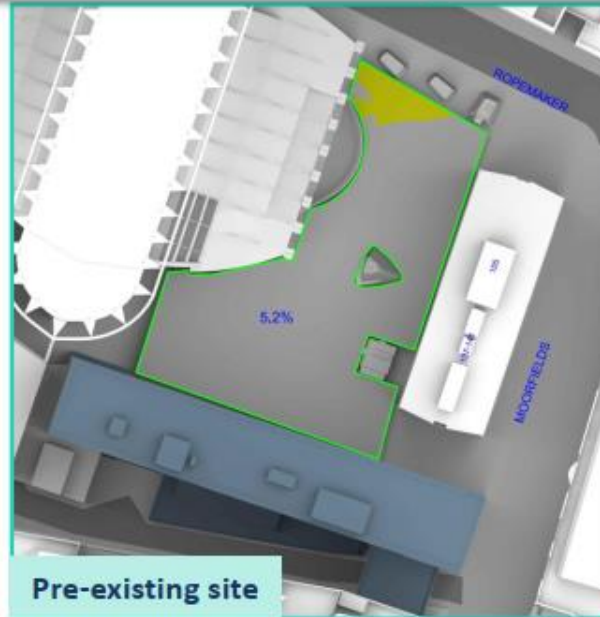


Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)

# Tenter House, 45 Moorfields, London, EC2Y 9AE

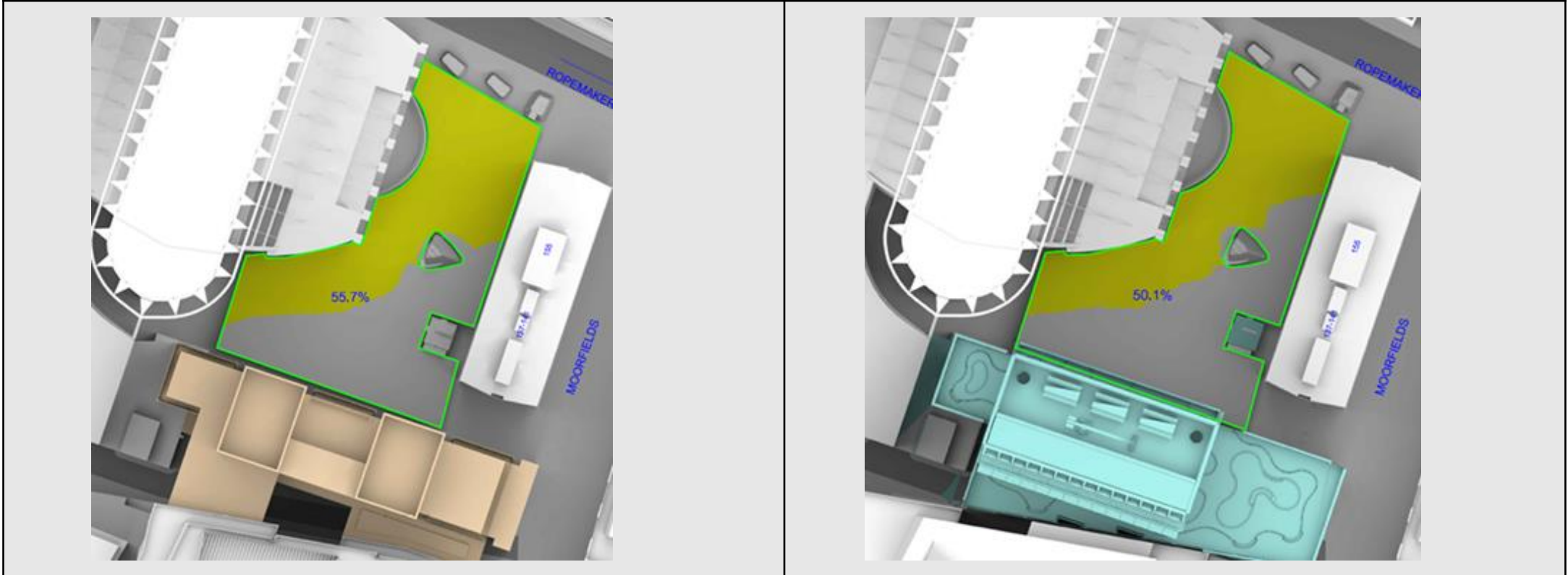


Daylight and Sunlight – Consented vs proposed NSL Contour Plots (with balconies)



2020 Permitted Scheme

2024 Proposed Scheme



EXISTING LVMF 8A.1 Westminster Pier



PROPOSED LVMF 8A.1 Westminster Pier



**EXISTING LVMF 16B.2: The South Bank: Gabriel's Wharf viewing platform – centre of north-east rail (DAY)**



**PROPOSED LVMF 16B.2: The South Bank: Gabriel's Wharf viewing platform – centre of north-east rail (DAY)**





EXISTING Gabriel's Wharf Position A east of LVMF 16B.2 (DAY)



EXISTING Gabriel's Wharf Position A east of LVMF 16B.2 (NIGHT)



PROPOSED Gabriel's Wharf Position A east of 16B.2 (DAY)



PROPOSED Gabriel's Wharf Position A east of 16B.2 (NIGHT)



EXISTING Gabriel's Wharf Position B east of 16B.2 (DAY)



EXISTING Gabriel's Wharf Position B east of 16B.2 (NIGHT)



PROPOSED Gabriel's Wharf Position B east of 16B.2 (DAY)



PROPOSED Gabriel's Wharf Position B east of 16B.2 (NIGHT)



**EXISTING Barbican Estate, Gilbert House Walkway looking across to Brandon Mews (DAY)**



**EXISTING Barbican Estate, Gilbert House Walkway looking across to Brandon Mews (NIGHT)**



**PROPOSED Barbican Estate, Gilbert House Walkway looking across to Brandon Mews (DAY)**



**PROPOSED Barbican Estate, Gilbert House Walkway looking across to Brandon Mews (NIGHT)**



EXISTING Barbican Estate, Entrance by Beech Street, looking towards Library



PROPOSED Barbican Estate, Entrance by Beech Street, looking towards Library



Junction of London Wall and Moorgate, south-east corner



Finsbury Circus, southern entrance corner with Circus Place





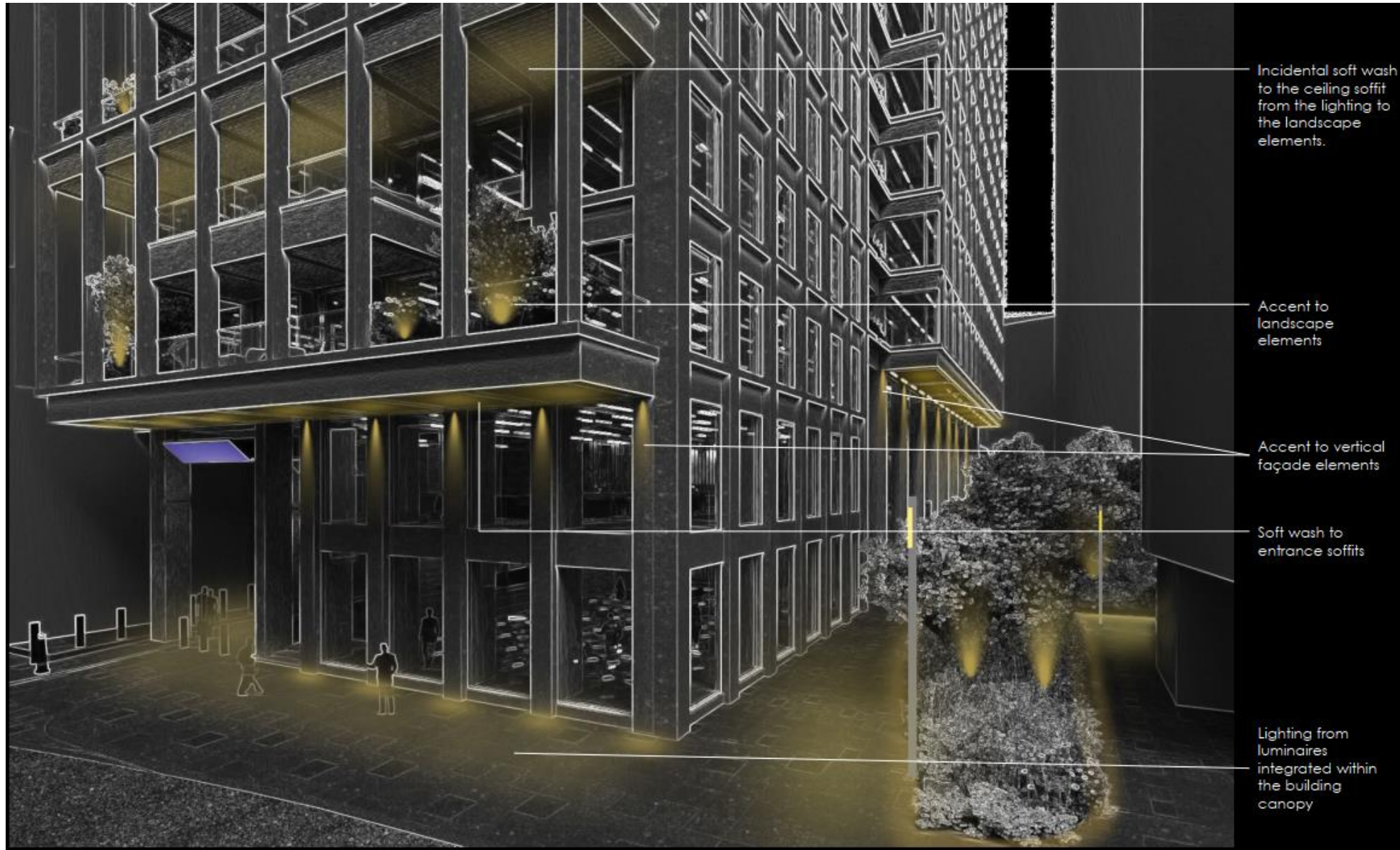
View of east of building from Moor Lane (consented, excl. 21 Moorfields)

View of east of building from Moor Lane (proposed, 21 Moorfields in foreground)

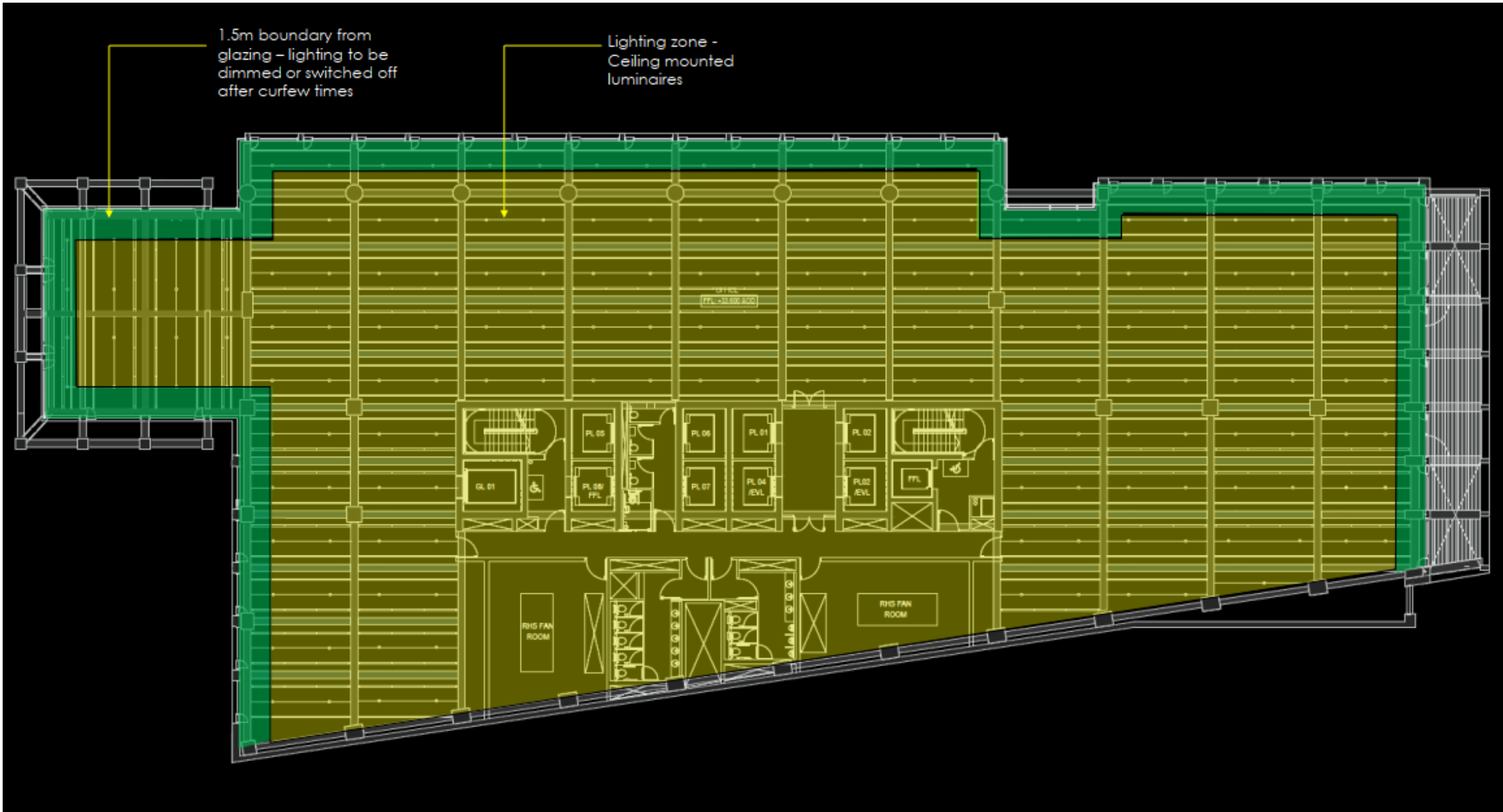




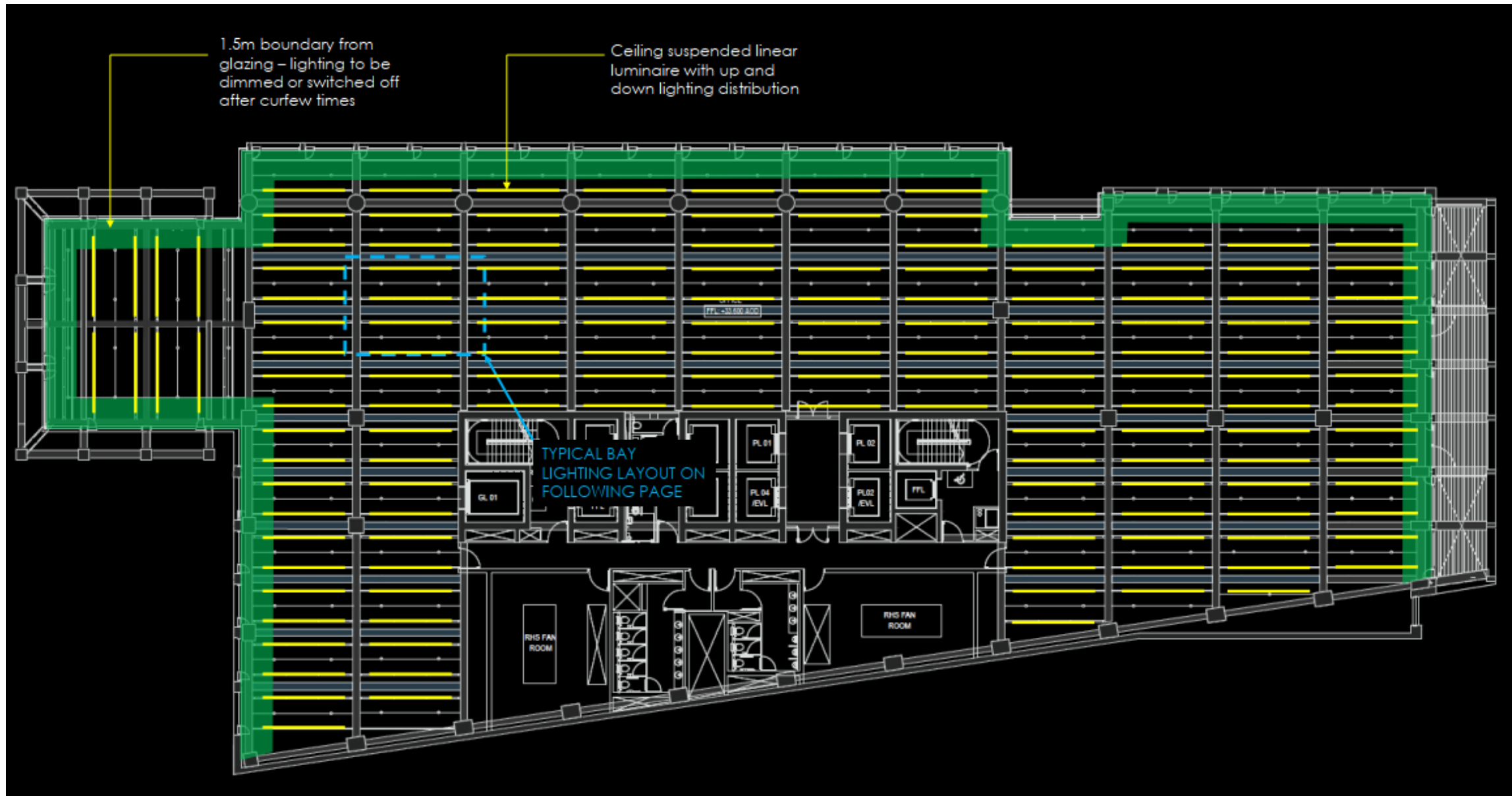
Lighting Impact Assessment – Proposed Terrace Lighting



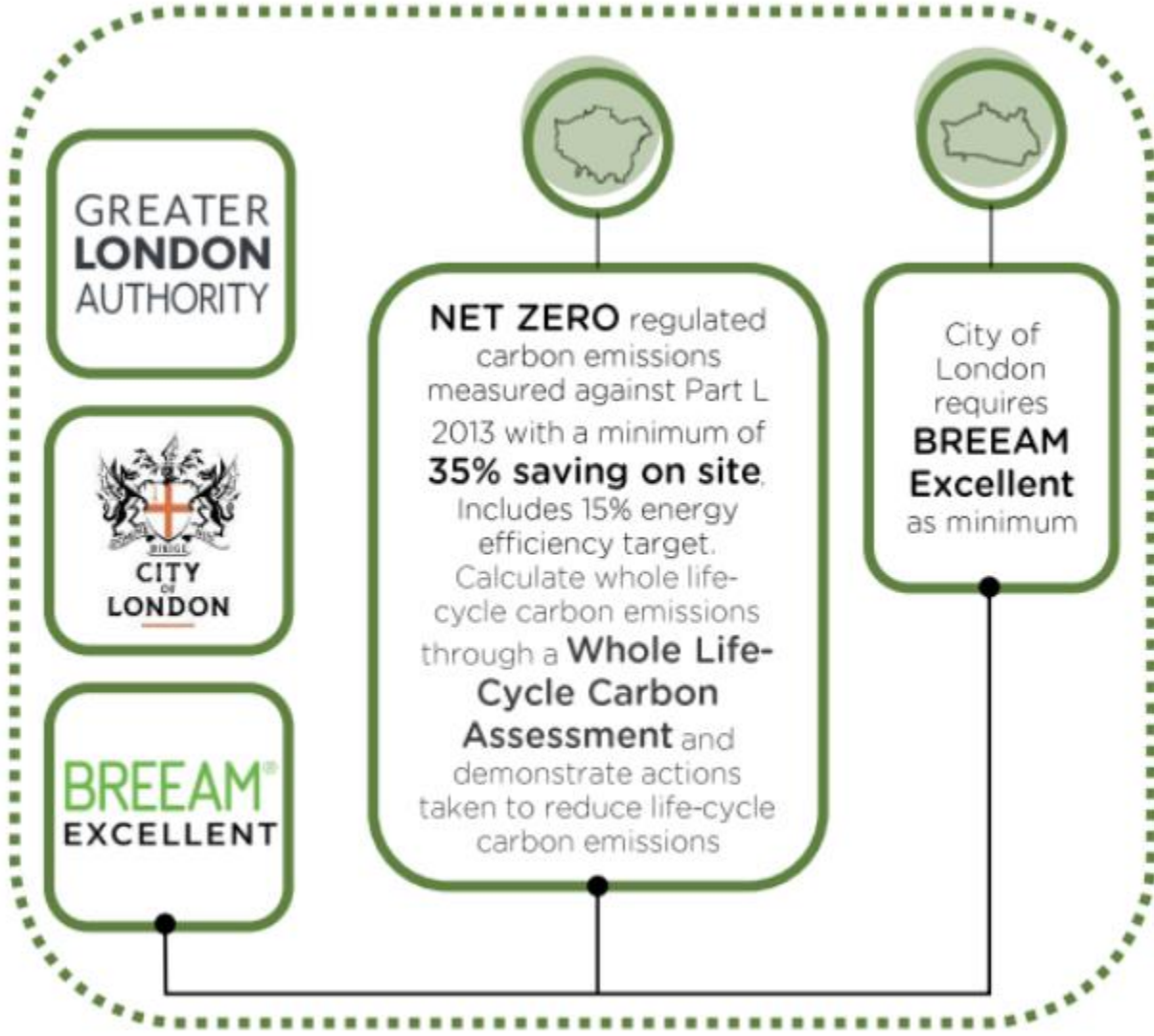
Lighting Impact Assessment – Proposed Façade Lighting



Lighting Impact Assessment – Lighting Layout Principle



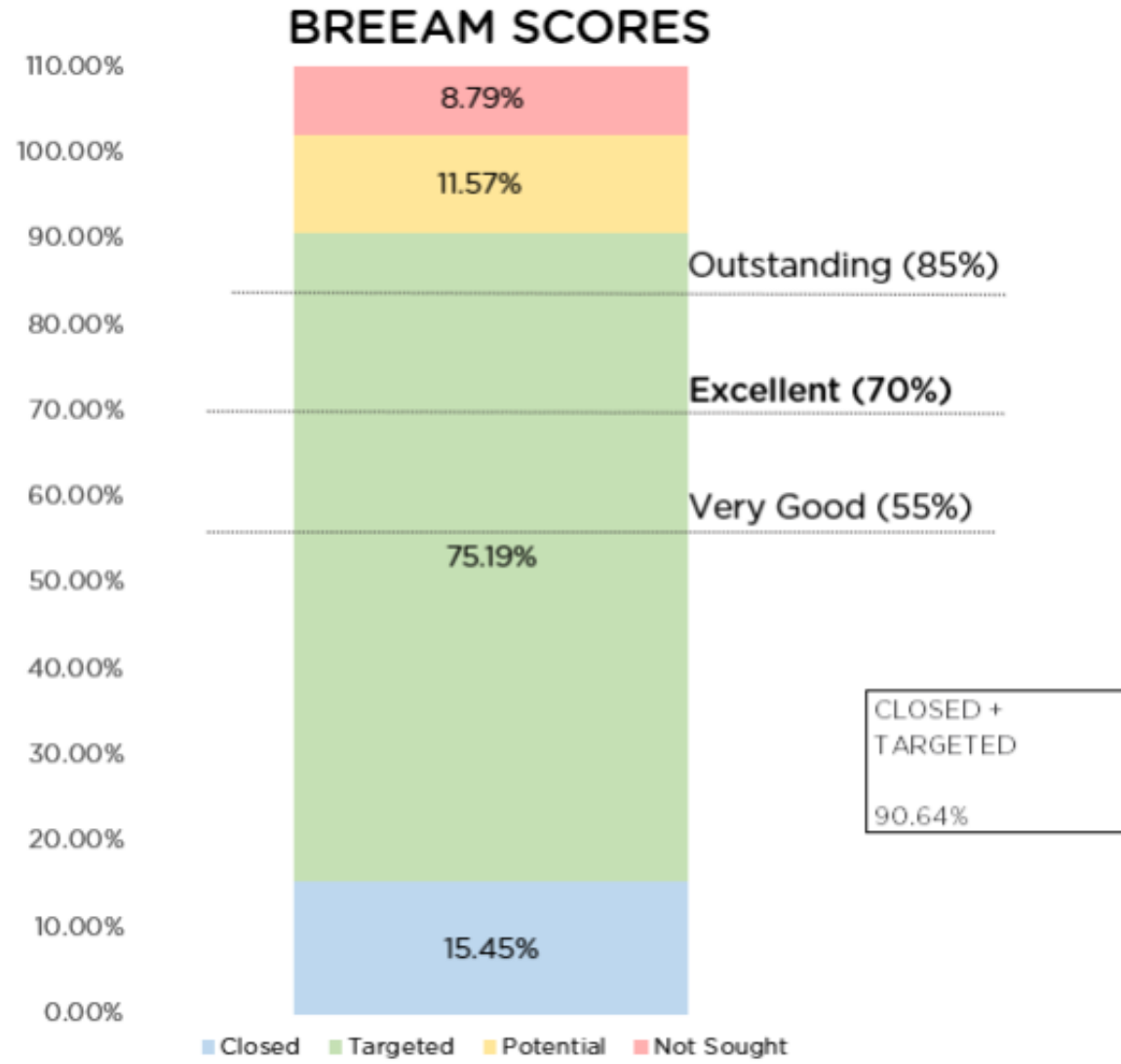
Lighting Impact Assessment – Typical Lighting Layout



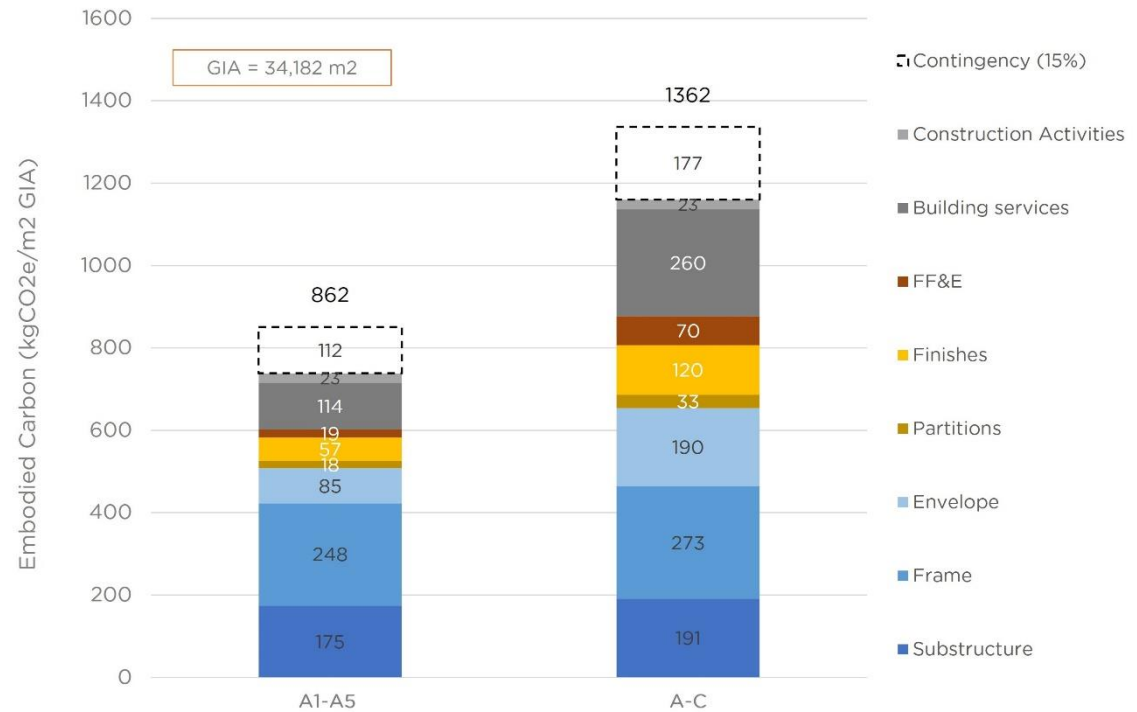
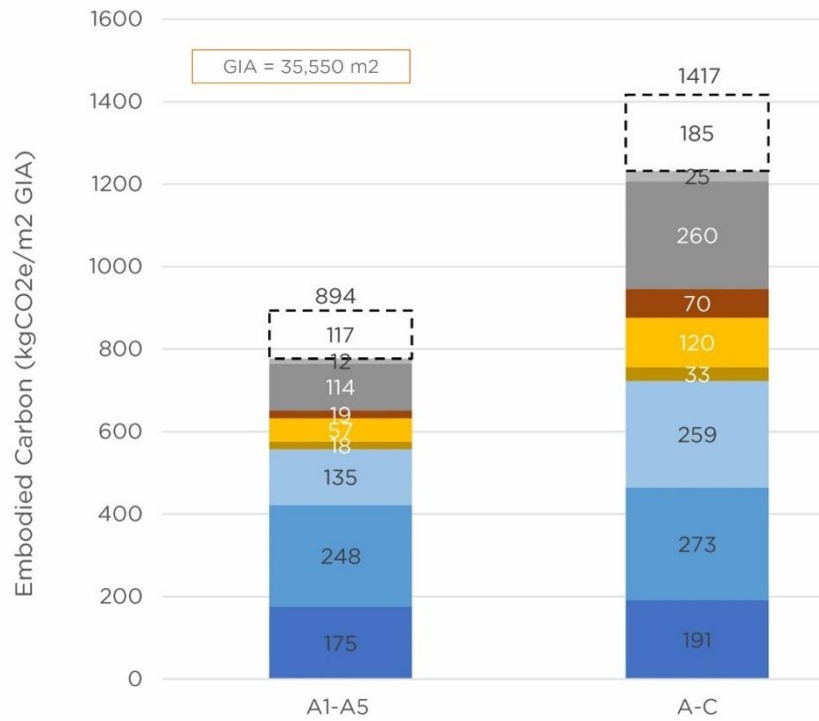
Regulatory and Planning targets



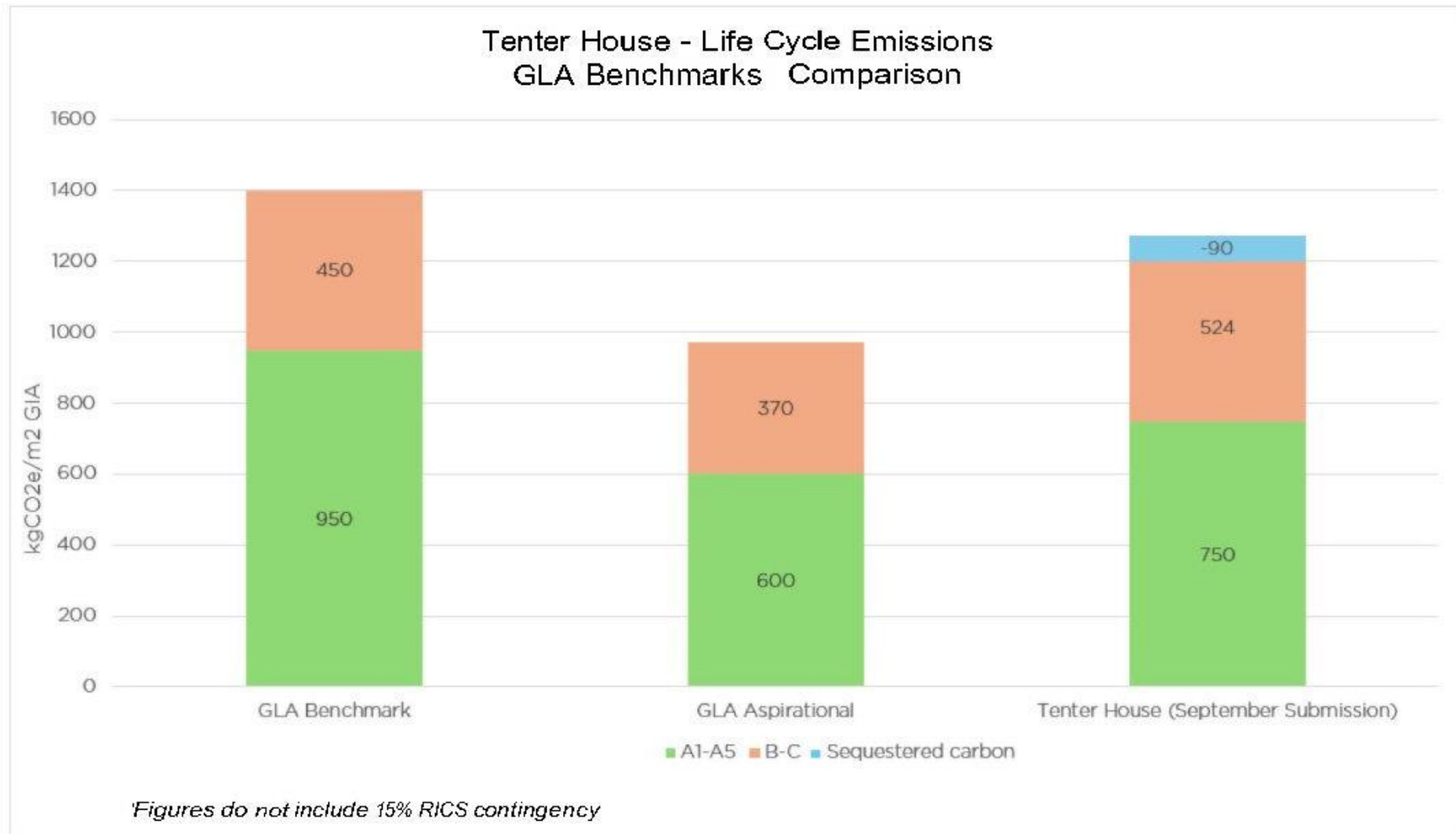
Industry benchmarks/best practice



# Tenter House, 45 Moorfields, London, EC2Y 9AE







Images of the In-Person Public Exhibition (28/11/2023) at 26 Finsbury Square, EC2A for the Proposed Development



ECONOMIC	ENVIRONMENTAL	SOCIAL
<ul style="list-style-type: none"> <li>• Significant public realm and landscaping works to City Point Plaza – <b>estimated £4.65 million.</b></li> <li>• Payment of <b>estimated £10 million</b> of CIL (circa <b>£5 million more</b> than the Permitted 2020 Scheme).</li> <li>• Significant number of S106 obligations – both financial and tangible.</li> </ul>	<ul style="list-style-type: none"> <li>• <b>Increase in the size and quality of open space</b> at City Point Plaza.</li> <li>• Improvements to public highway through S278.</li> <li>• Removal of vehicular crossovers.</li> <li>• Creation of a <b>car-free</b> development.</li> <li>• Reductions in <b>embodied carbon</b> and <b>operational energy demand.</b></li> </ul>	<ul style="list-style-type: none"> <li>• Delivery of a <b>bespoke Cultural Plan</b> to support <b>Destination City</b> initiatives and ambitions.</li> <li>• <b>Meanwhile uses</b> during the Site’s construction.</li> <li>• Use of <b>reception and community space</b> for <b>cultural purposes.</b></li> <li>• <b>New Public Art scheme</b> proposed along New Union Street.</li> <li>• <b>Relevelling</b> City Point Plaza, enhancing <b>accessibility and inclusivity.</b></li> </ul>





# Next Planning Applications Sub Committee

26 November 2024

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# **Application address**

**65 Fleet Street**

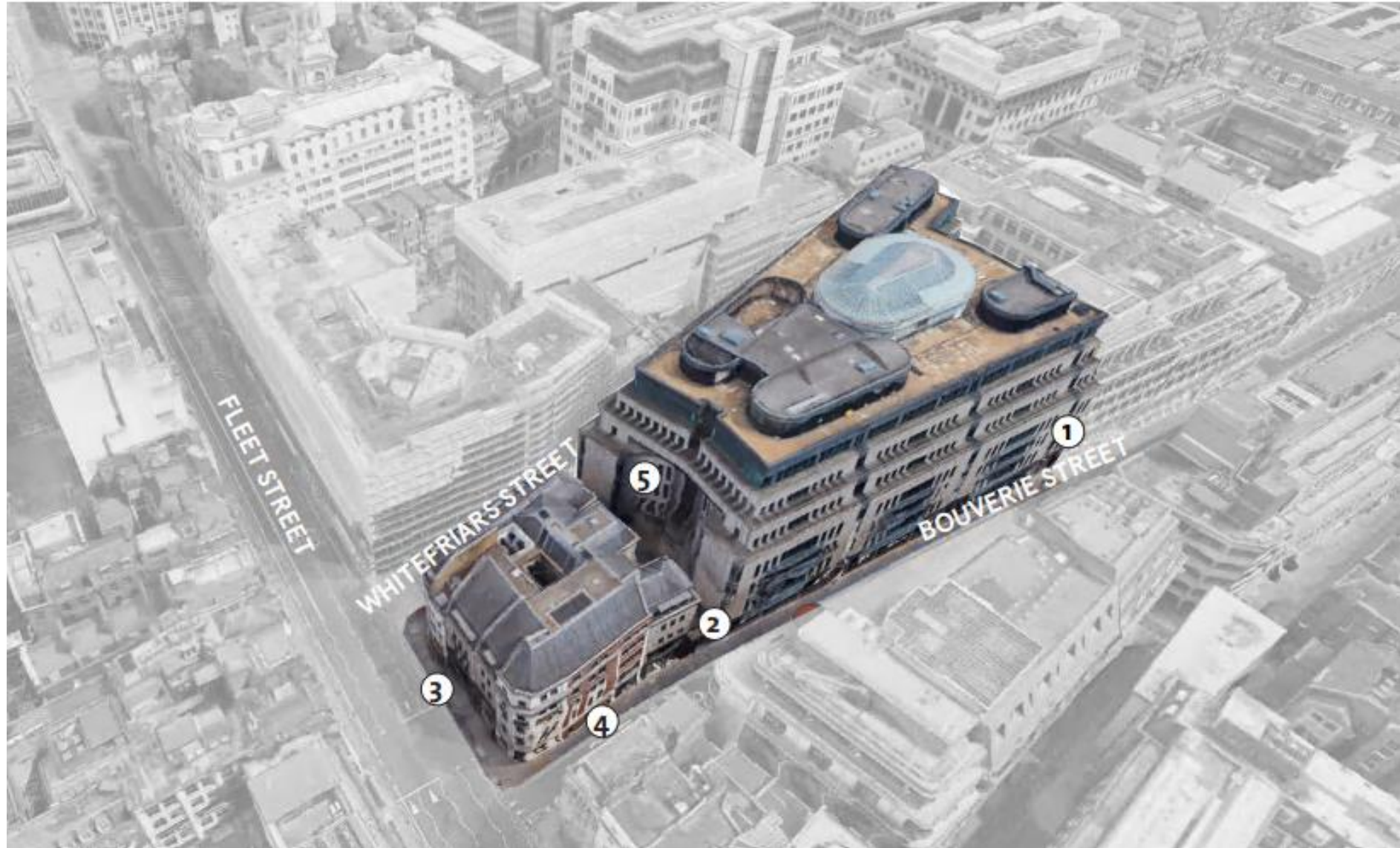
**Planning Applications Sub-Committee**

**29 October 2024**

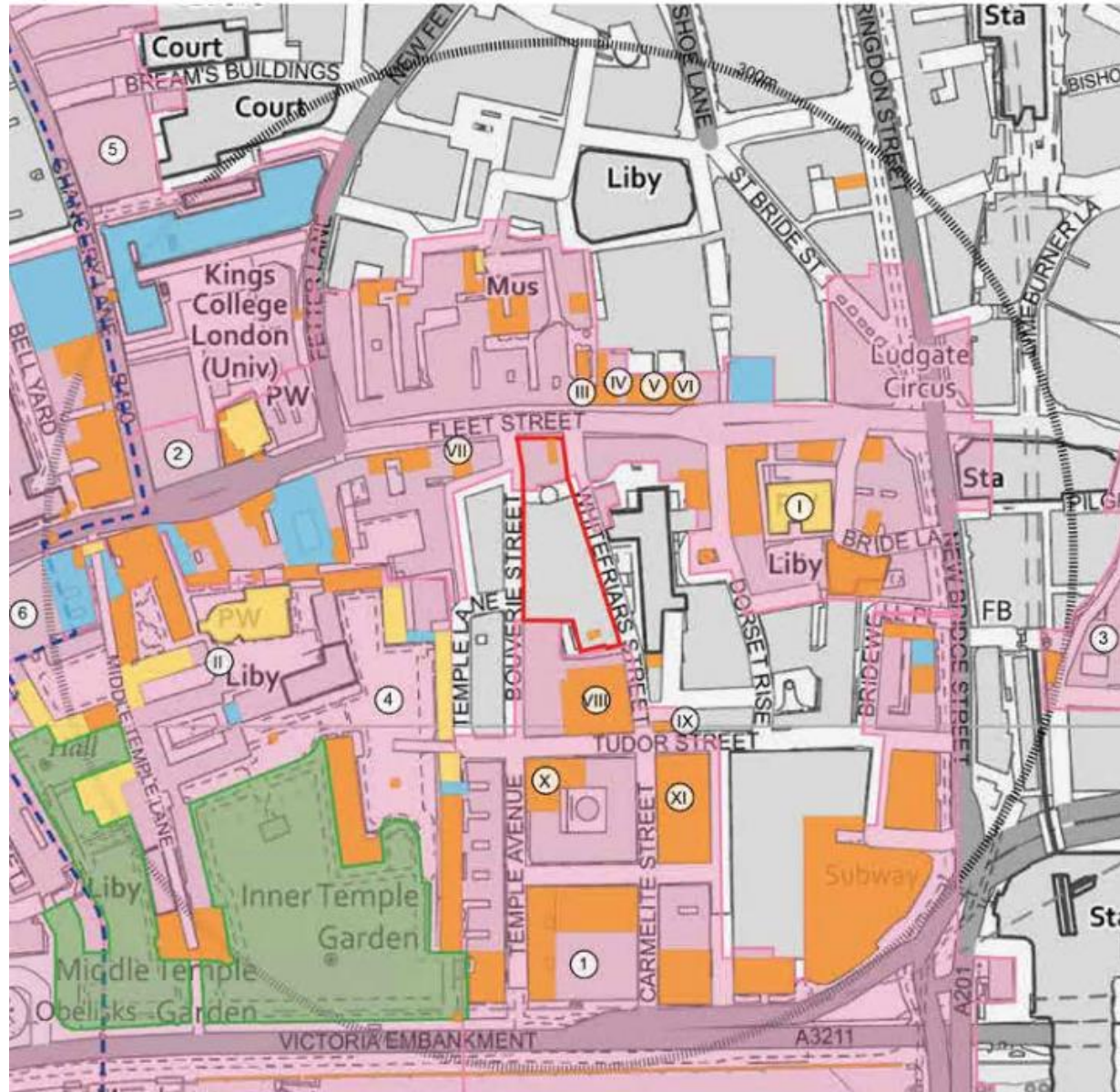


Site location





Existing site Aerial View North and South block

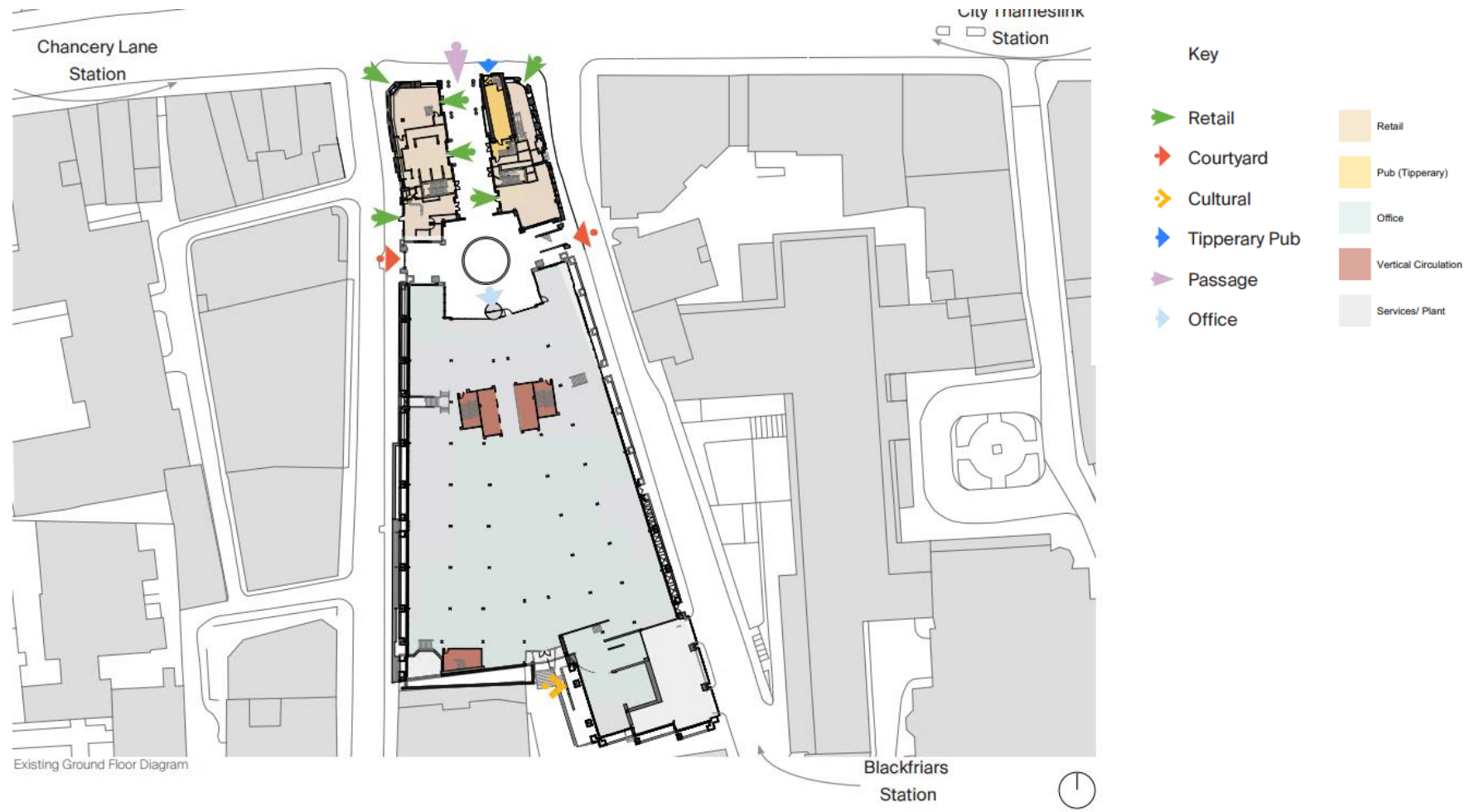


Heritage context, conservation areas listed buildings and historic park and garden



Site Location with Conservation Areas highlighted





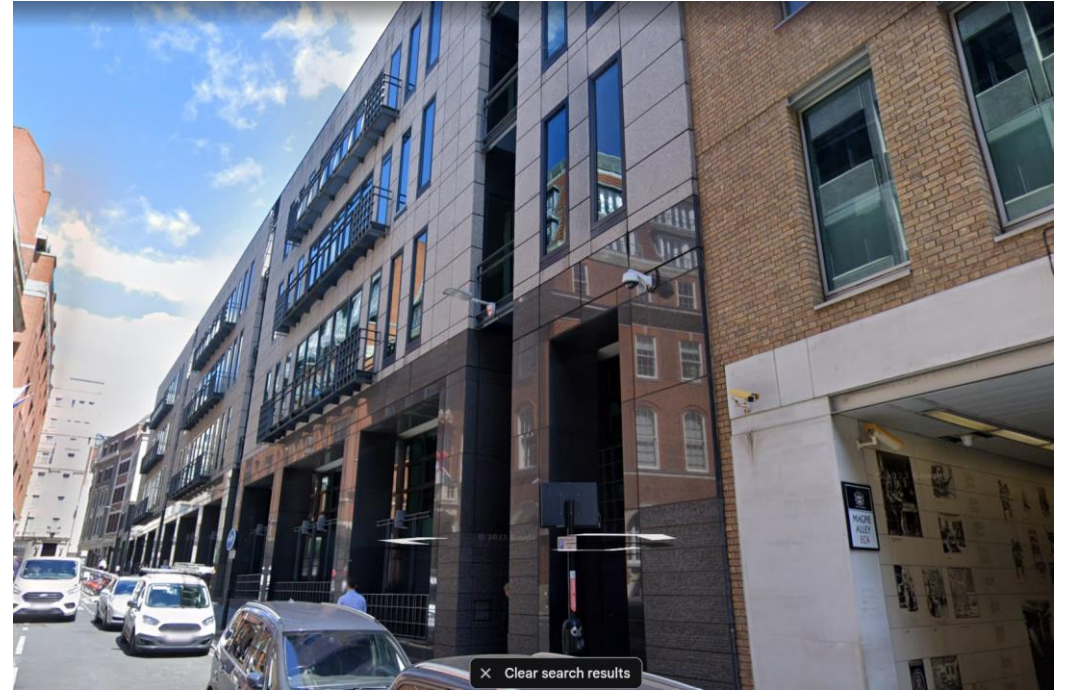
Existing Site Plan entrances and uses

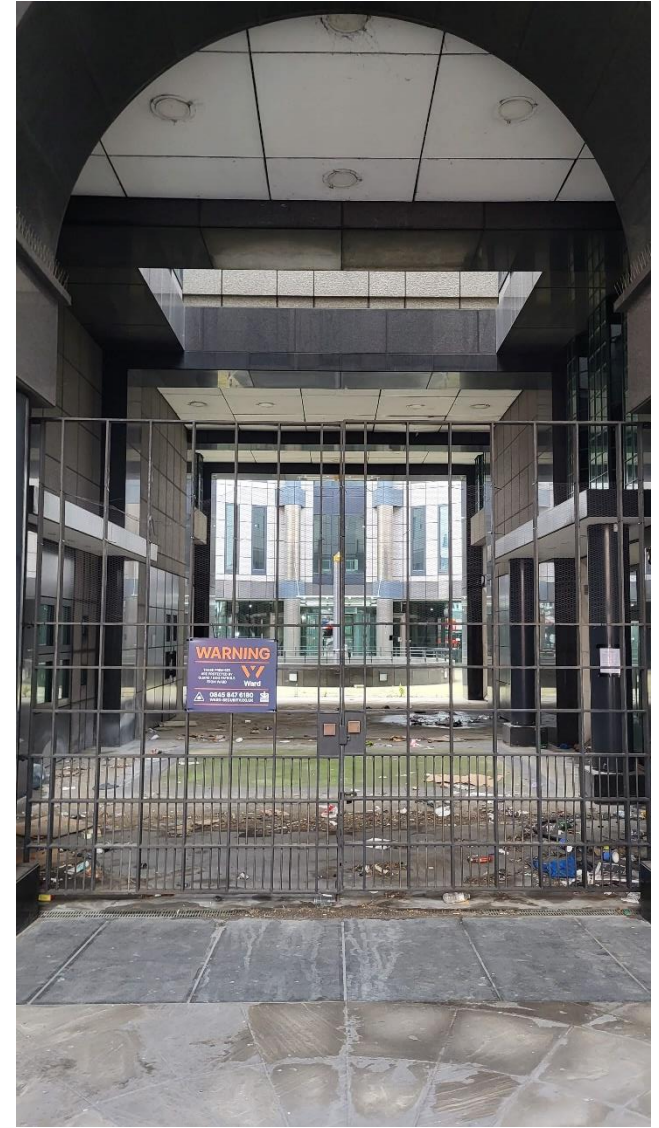


North block 67 Fleet Street, The Tipperary Pub, 65 Fleet Street and 63 Fleet Street



North block 67 Fleet Street and South block and Whitefriars Street



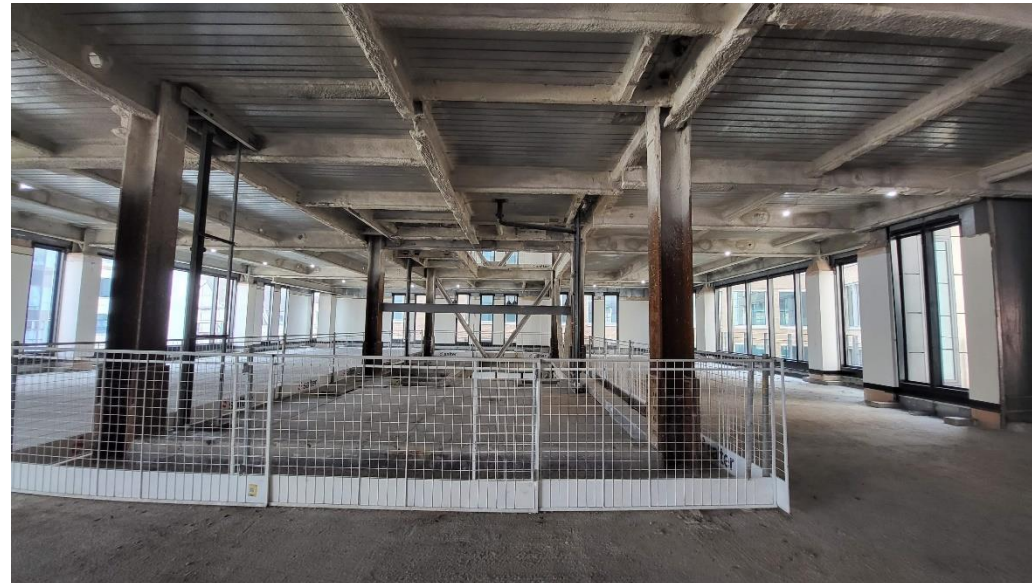
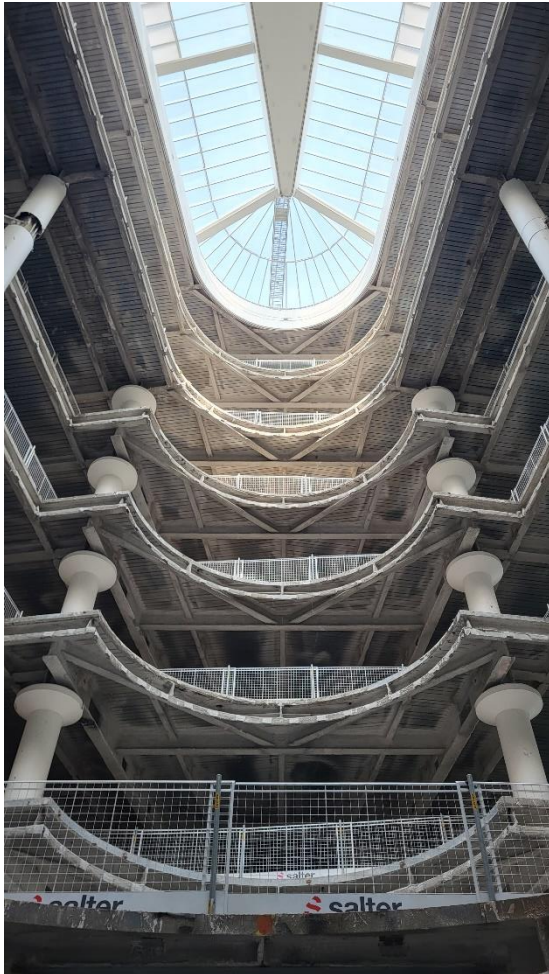


65 Fleet Street courtyard, stepped access from Whitefriars Street and Bouverie Street





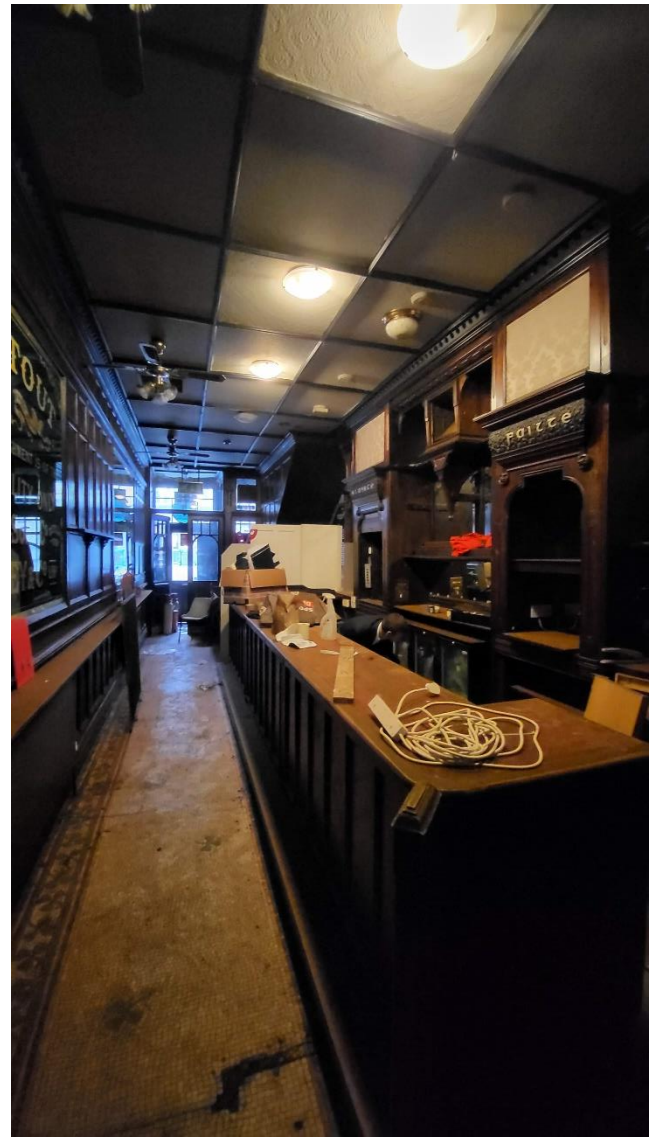
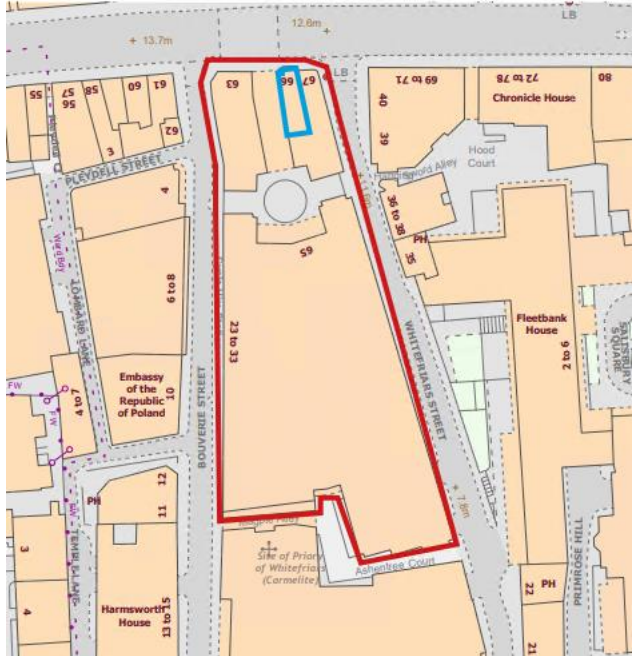
View to the internal courtyard and rear elevation of north block



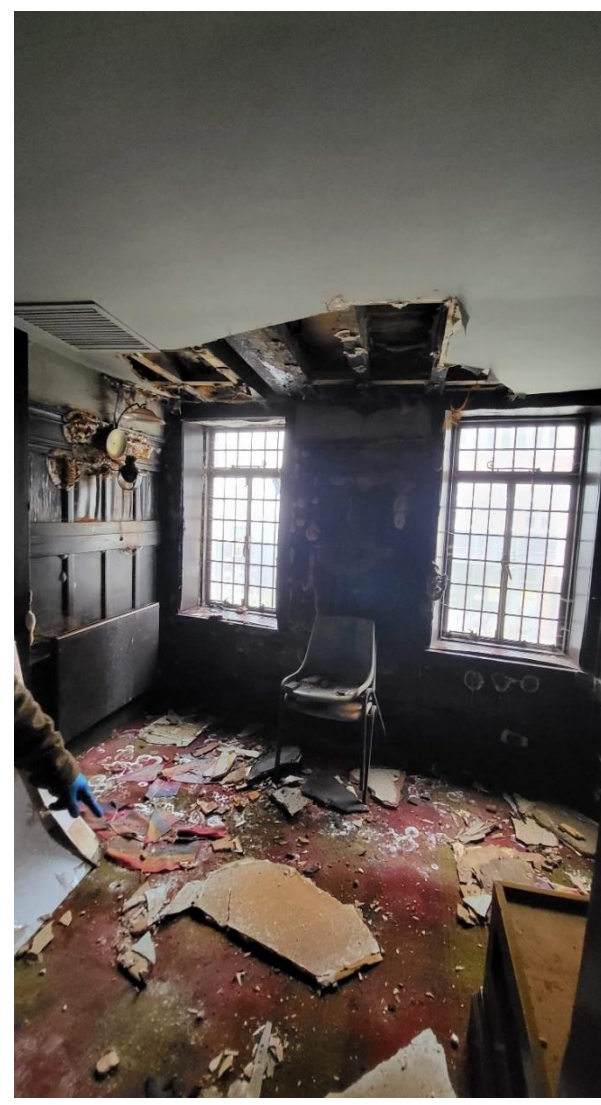
South block existing internal spaces



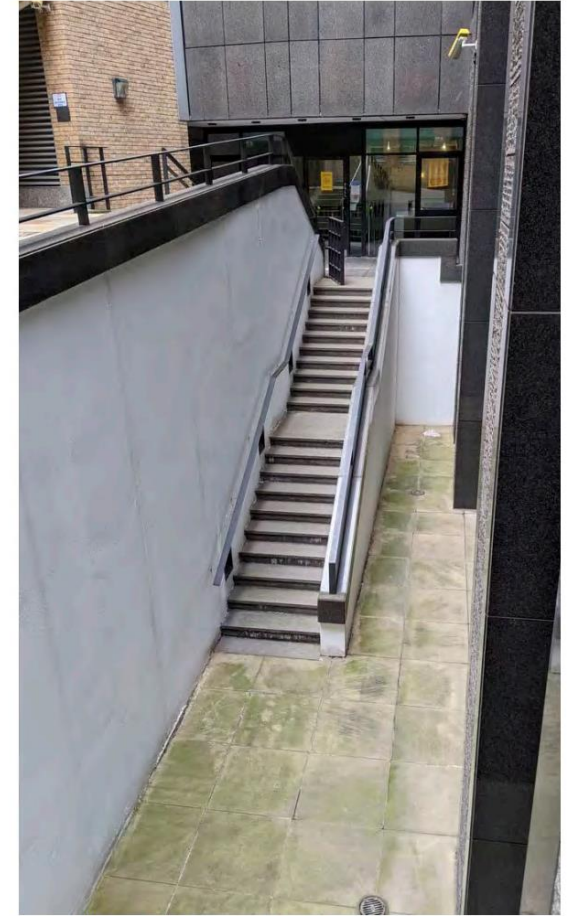
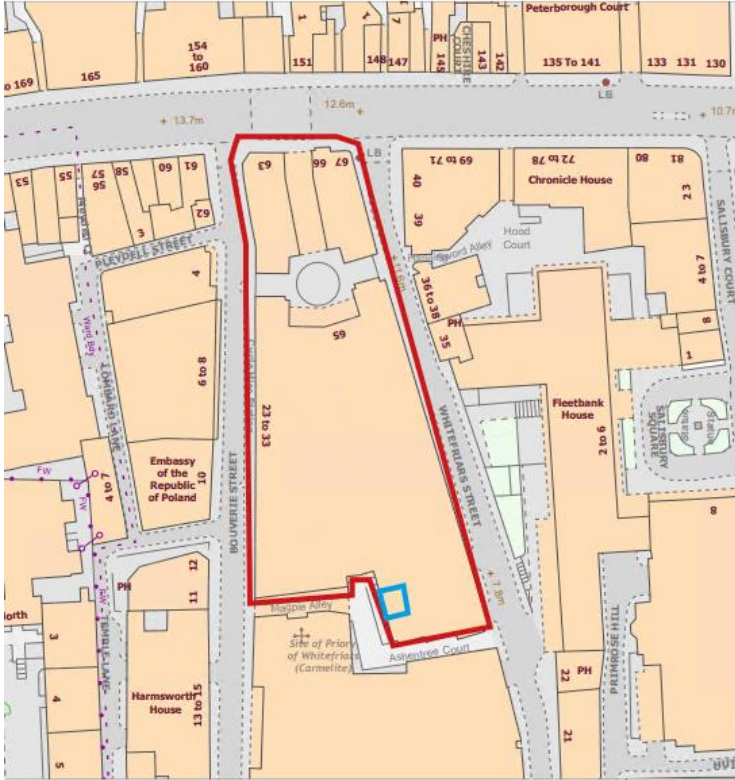
South block Typical internal spaces south block



The Tipperary (grade II) Fleet Street elevation and ground floor bar



The Tipperary lower ground, first floor, second and third floors



Access Steps to Crypt at Basement level and difficult for crypt interpretation

**Magpie Alley /Ashentree Court entrance to Whitefriars convent (grade II) remains**

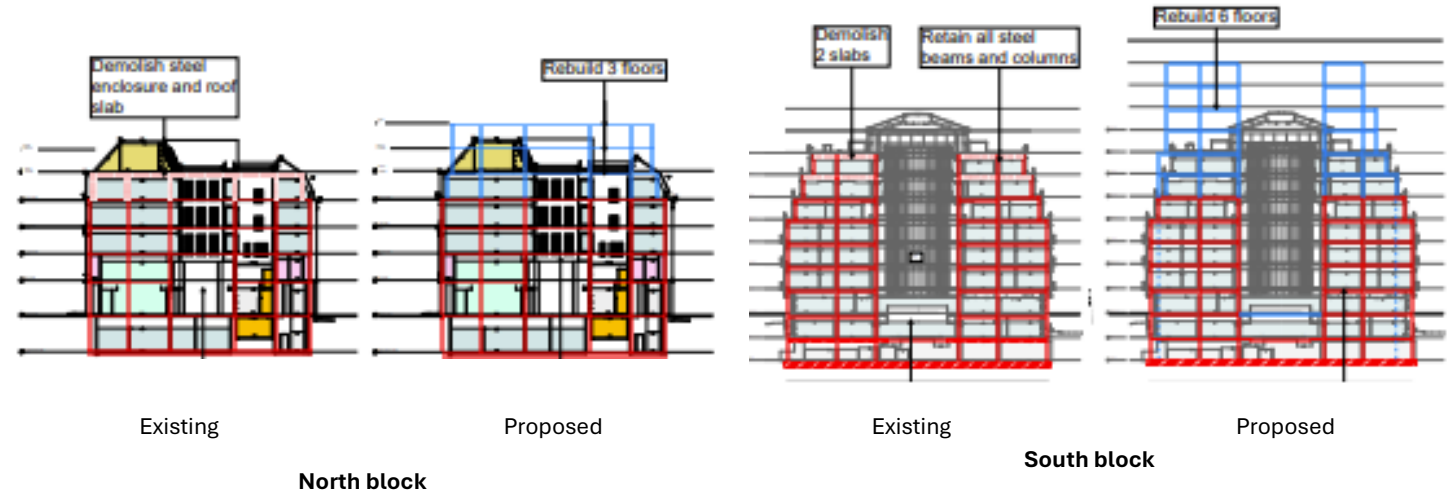


Remains of the Whitefriars Convent (II)

## Maximising retention

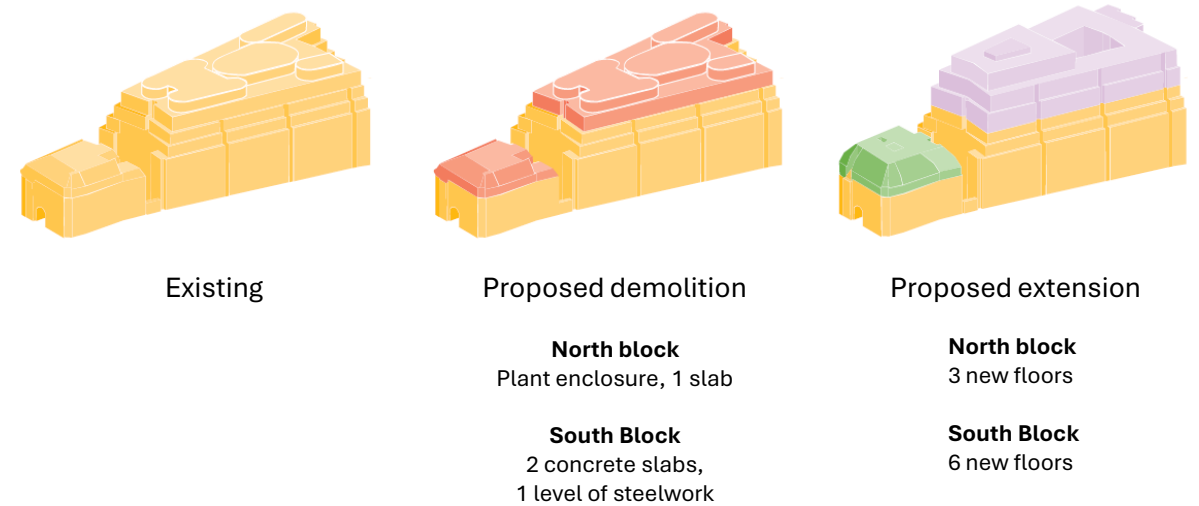
The design team's ambition was to limit embodied carbon as much as possible by maximising retention of the existing structure.

Pursuing a minimal demolition strategy the design team could add 2 additional floors to the north block and 4 additional storeys floors to the south block whilst retaining over 90% of the existing structure.



	North block	South block
Substructure retained	100%	100%
Superstructure retained	93%	94%
Amount of completed development which is retained material	80%	70%

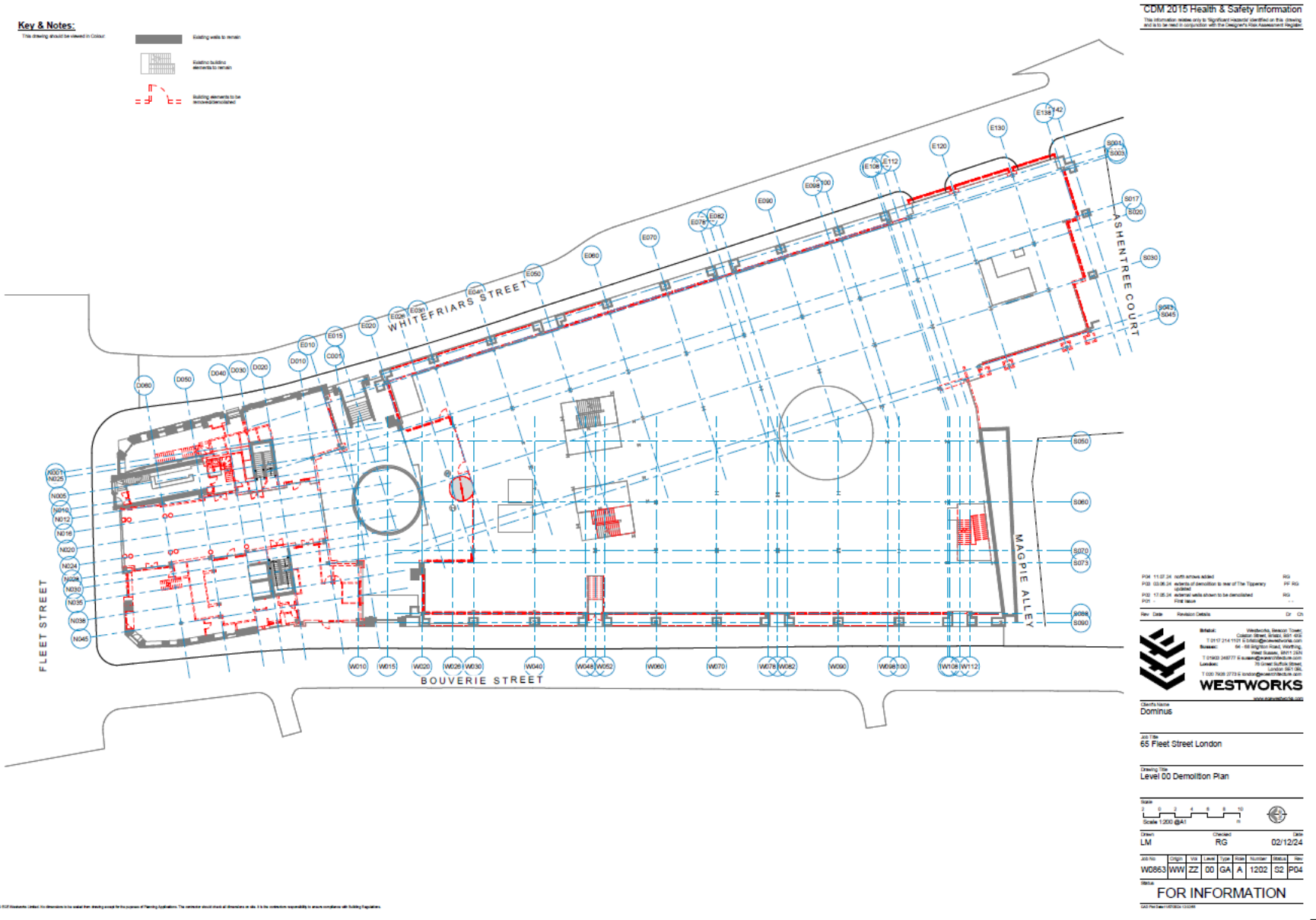
Stage 2 estimated retention rates



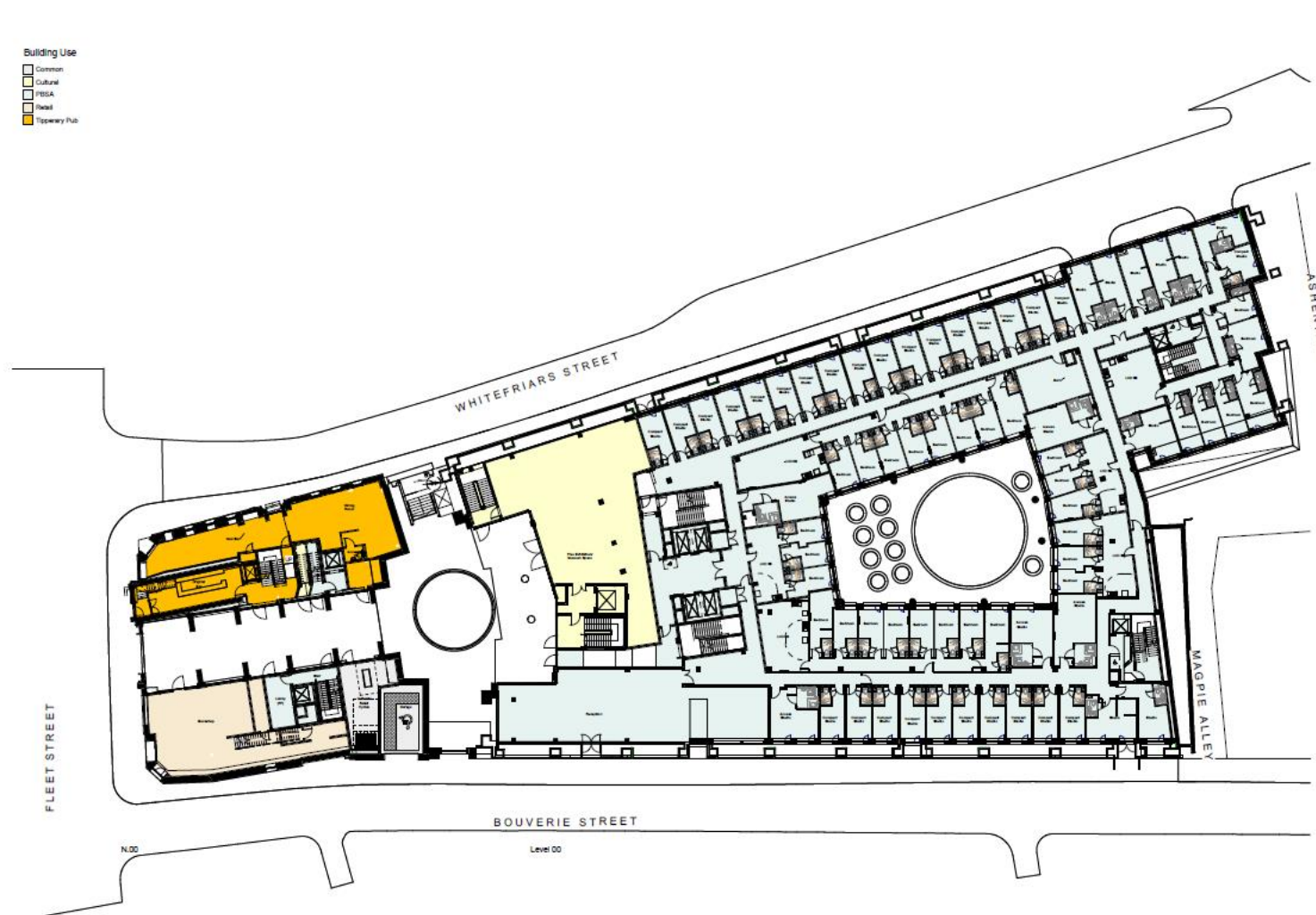




# 65 Fleet Street, London, EC4Y 1HT



# 65 Fleet Street, London, EC4Y 1HT



- Building Use**
- Common
  - Cultural
  - FBSA
  - Shell
  - Topsway Pub

**CDM 2015 Health & Safety Information**  
 This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Employer's Risk Assessment Register.

P14	20.04.24	Systems shown and parking by retained 100	RG
P13	20.04.24	Design Development	CG RG
P12	11.02.24	South Access added	RG
P11	03.08.24	Staff Access removed	RG
P10	20.05.24	Access updated to match BCP information and graphics updated to Contractor comments	RG
P09	10.05.24	Design Development and walls, windows and doors	RG
P08	25.04.24	Structural design review issued	RG
P07	03.04.24	CPD updates	RG
P06	08.04.24	Details amended as per Client comments	CG RG
P05	10.03.24	Fire alarm fit, LSA & R/Floor Plans	CG RG
P04	11.03.24	Levels adjusted on stairs	CG RG
P03	05.03.24	Design Development	CG RG
P02	20.02.24	Final design drawings RT, LSA & RP	CG RG
P01	20.02.24	Parking lot P10 issue	CG RG

Rev. Date. Revised Details. Df. 0/0

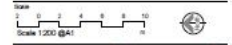
**WESTWORKS**  
 www.westworks.co.uk

Westworks, Design Tower  
 100 Old Street, London, EC2A 3DF  
 020 7547 1331 | E: sales@westworks.co.uk  
 020 7547 1332 | E: info@westworks.co.uk  
 West Sussex, BN11 2JG  
 01293 246177 | E: sales@westworks.co.uk  
 75 Great South Street,  
 London, SE1 1TG  
 020 7726 1000 | E: sales@westworks.co.uk

Client Name: Dominus

207 To: 65 Fleet Street London

Drawing Title: Level 00 Planning Plan



Drawn: EC  
 Checked: RG  
 Date: 02/06/24

Job No.	Client	Use	Level	Type	Issue	Number	Block	Ref.
WD663	WW	ZZ	00	DR	A	0202	S2	P14

**FOR INFORMATION**

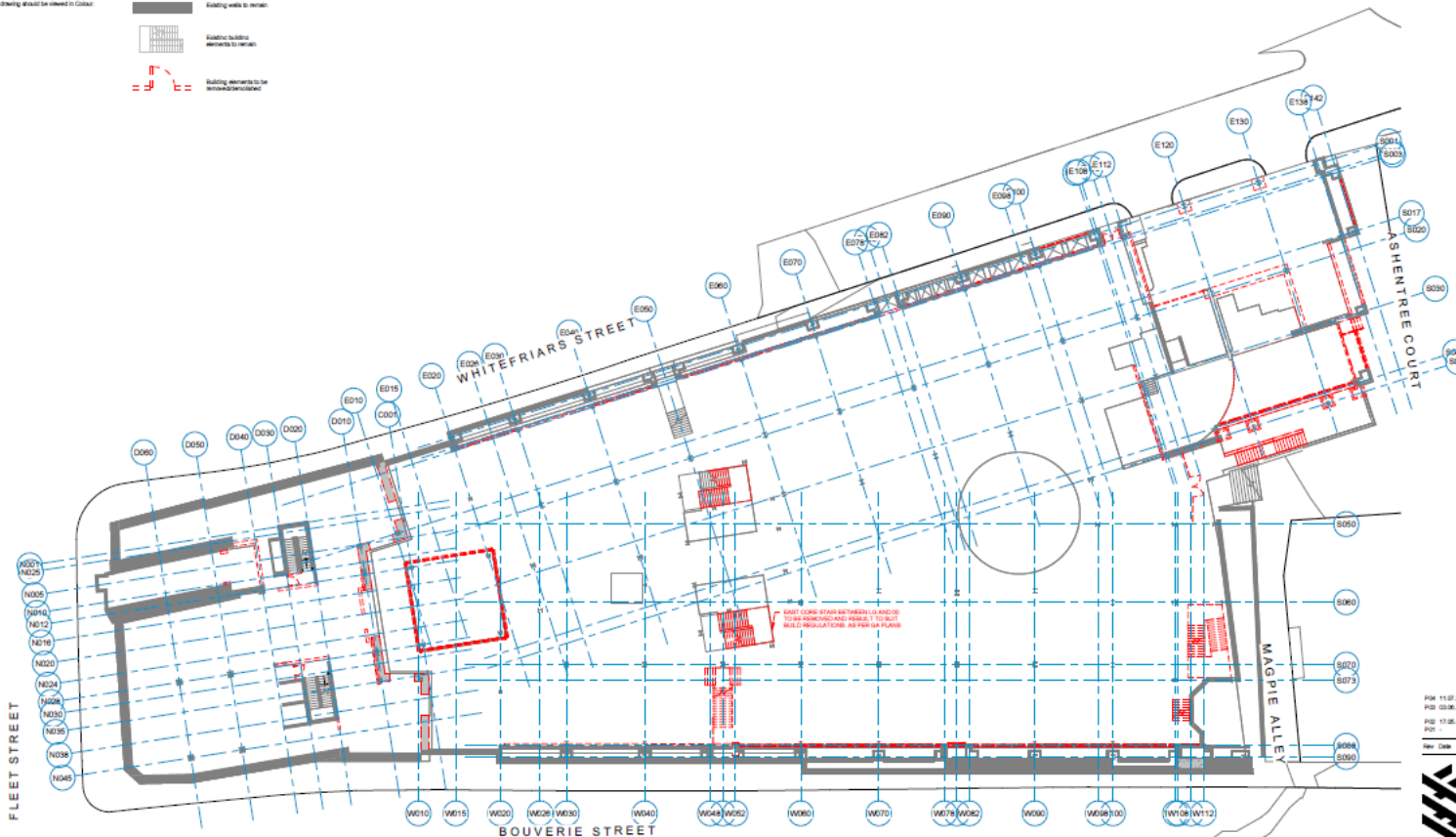
Level 00 Proposed Plan



**Key & Notes:**  
This drawing should be viewed in Colour



**CDM 2015 Health & Safety Information**  
The information herein only is 'significant' material identified on this drawing which is to be used in conjunction with the Designer's Risk Assessment Report.



PO1	11.02.24	Initial Issue	RG
PO2	03.08.24	extent of demolition to west of The Tipperary confirmed	RG
PO3	17.08.24	external walls shown to be demolished	RG
PO4	-	Final Issue	-

Rev. Date Revision Details Dr. CR

Westworks Group, Tower 1  
 1 St. Paul's Church Square, London, EC4A 3DF  
 Tel: +44 (0)20 7593 3000  
 Email: [enquiries@westworks.com](mailto:enquiries@westworks.com)  
 Website: [www.westworks.com](http://www.westworks.com)

Client Name  
 Dominus

Site No  
 65 Fleet Street London

Drawing Title  
 Level LG Demolition Plan



Drawn  
 LM RG 02/12/24

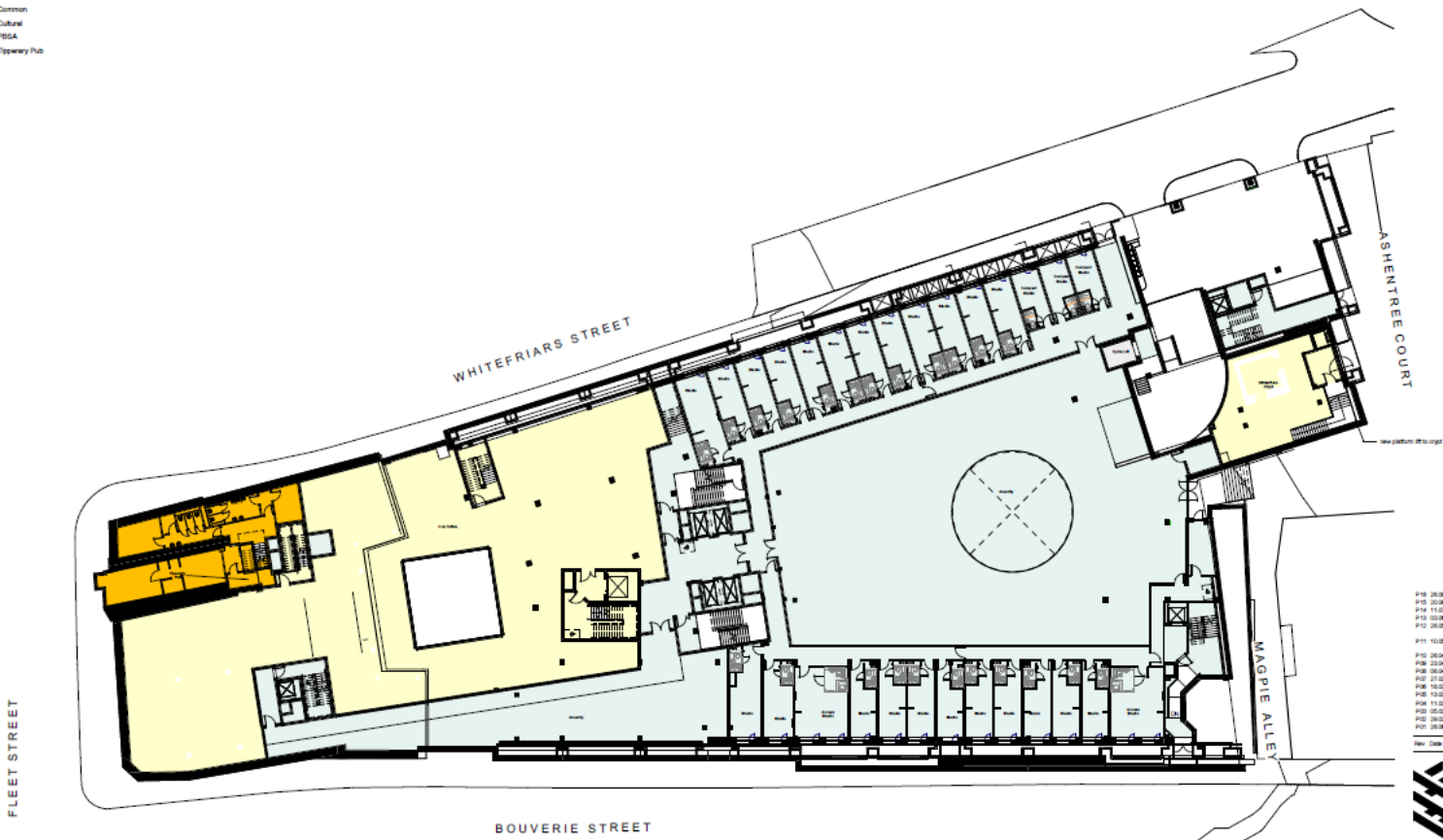
W0863	WW	ZZ	LG	GA	A	1201	S2	P04
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FOR INFORMATION

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- Building Use**
- Common
  - Cultural
  - FISA
  - Tipperary Pub

**CDM 2015 Health & Safety Information**  
 This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the design team's assessment report.



- P16 20.09.24 Update IT door certified RG
- P16 20.09.24 Design Development CG RG
- P14 11.07.24 North screen added RG
- P13 03.06.24 South screen removed RG
- P12 28.05.24 Details updated to match BDF information and graphics updated to current comments RG
- P11 10.05.24 Design Development - add walls, windows and internal door arrangements RG
- P10 26.04.24 Interior design inputs added RG
- P09 20.04.24 Crisp updated RG
- P08 28.04.24 Details reviewed as per Client comments RG
- P07 27.02.24 Platform info input added RG
- P06 18.03.24 Re-level B1, L1 & B2 Platform Floor RG
- P05 10.02.24 Crisp structure, Platform L1 and B2 added RG
- P04 11.03.24 Levels adjusted on stairs RG
- P03 03.02.24 Design Development RG
- P02 28.02.24 Minor input changes to B1, L1 & B2 RG
- P01 20.09.24 Platform L1 Final Issue RG

**WESTWORKS**  
 1000 Old Street, London, EC1Y 9LQ  
 T: 020 7417 1100 E: info@westworks.co.uk  
 www.westworks.co.uk

Client Name: **Dominus**

Job No: **65 Fleet Street London**

Drawing Title: **Level LG Planning Plan**



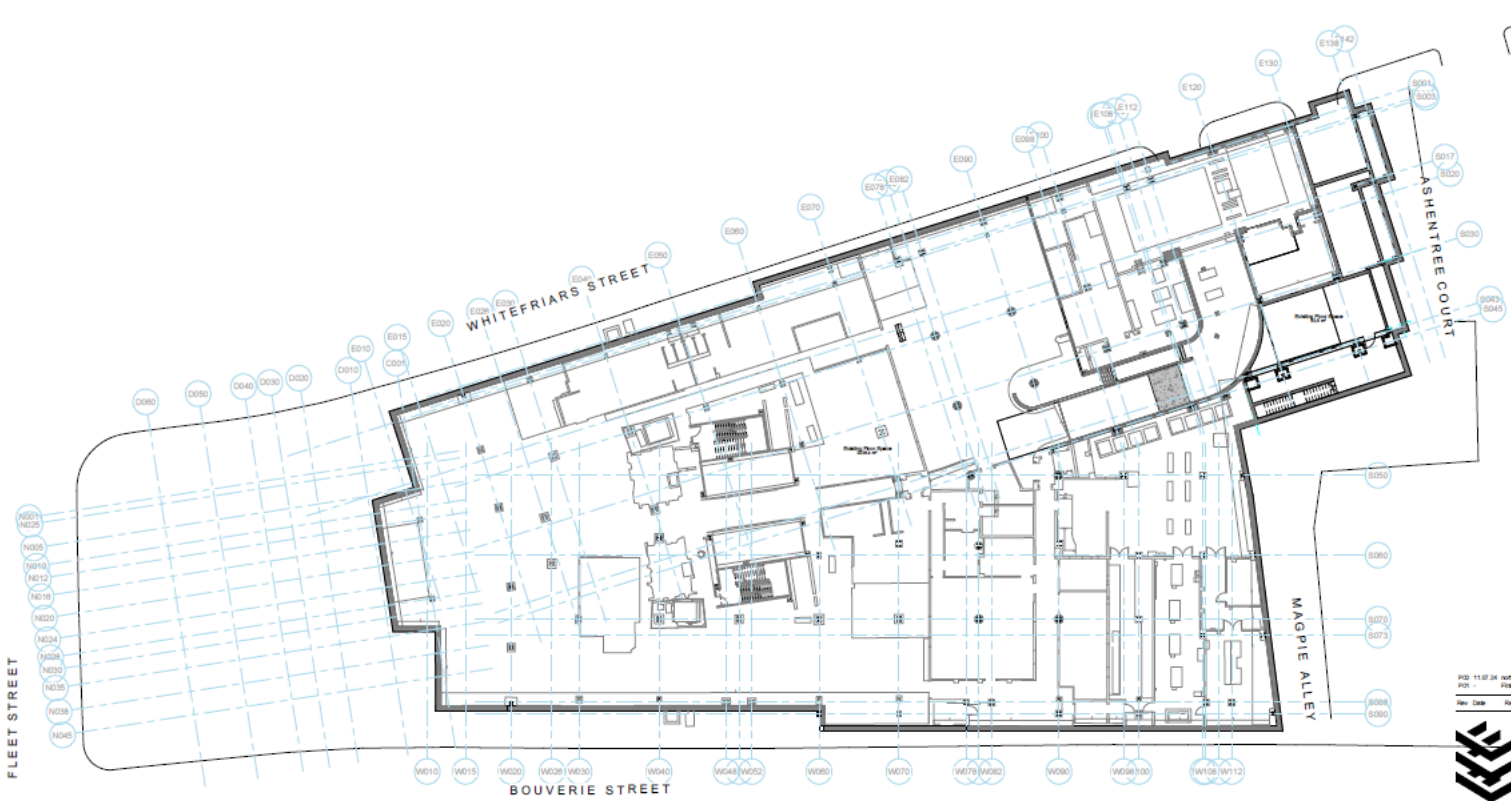
Drawn: **EC** Checked: **RG** Date: **02/05/24**

Job No	Origin	UD	Level	Type	Issue	Number	Sheet	Total
W0863	WW	ZZ	LG	DR	A	0201	S2	P16

Issue: **FOR INFORMATION**

Level LG Proposed Plan

**CDM 2015 Health & Safety Information**  
 This information is only for significant hazard identification on this drawing and is not in conflict with the design team's professional judgement.



W01 11.07.24 North Arrow added  
 RG  
 Rev Date Revision Details  
 DR CH

Westworks, Services Team  
 75 Great South Street, London, EC4A 3DF  
 T: 020 7493 3400  
 F: 020 7493 3401  
 www.westworks.com

**WESTWORKS**

Client Name  
**Dominus**

2/3 The  
**65 Fleet Street London**

Drawing Title  
**Level B1 Existing Plan**

Scale  
 Scale 1:500 @A1

Drawn  
**PF**

Checked  
**RG**

Date  
**30/05/24**

Job No	Origin	UIC	Level	Type	Code	Number	Sheet	Total
W0863	WW	ZZ	B1	DR	A	0110	S2	P02




FOR INFORMATION

Level B1 Existing Plan

# 65 Fleet Street, London, EC4Y 1HT

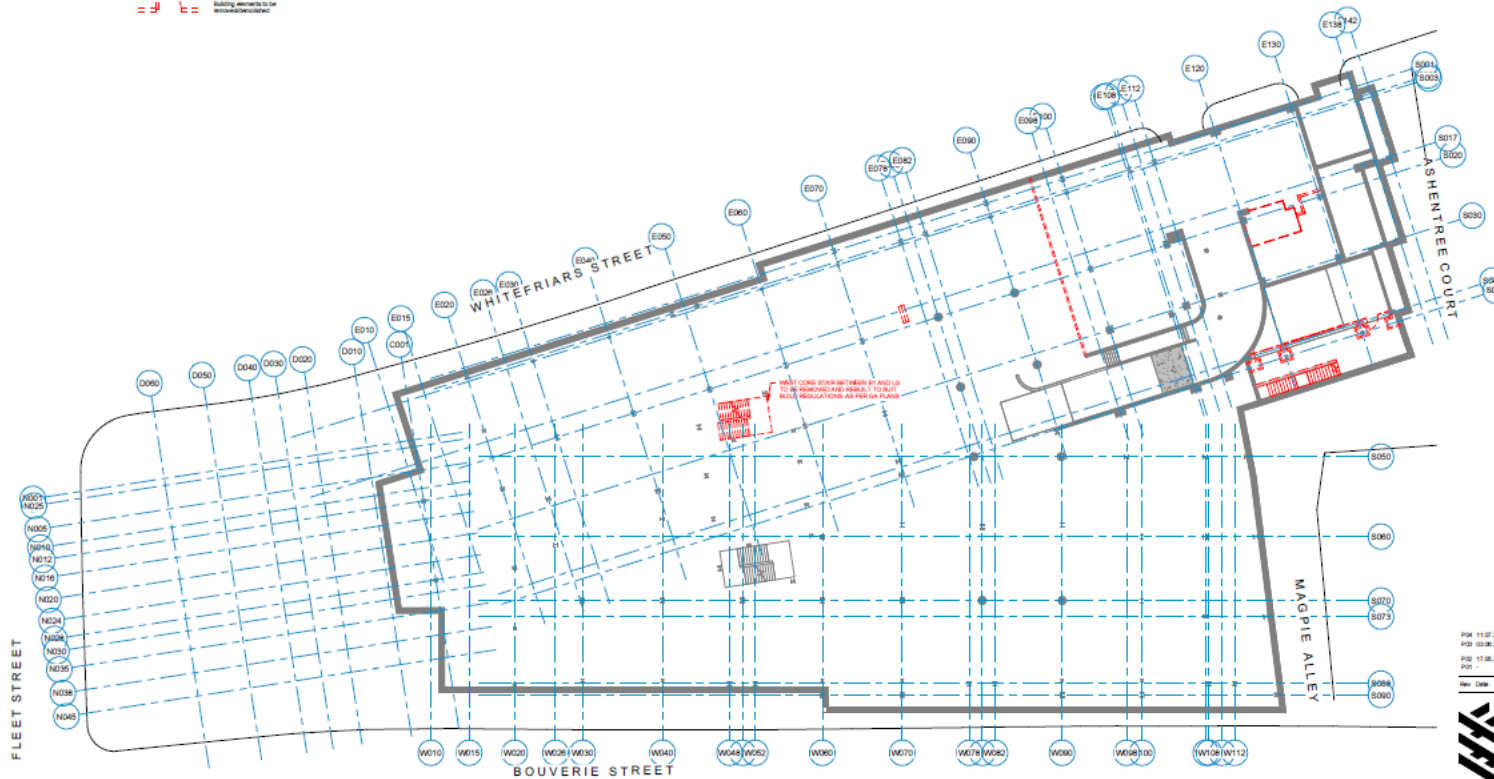
### Key & Notes:

The drawing should be viewed in Colour

-  Existing walls to remain
-  Existing building structure to remain
-  Building elements to be demolished

### CDM 2015 Health & Safety Information

This information is only to be used in conjunction with the relevant Risk Assessment Report.



Rev	Date	Revision Details	Dr	Ch
P04	11.07.24	North arrow added	RG	
P03	03.08.24	Revised to include to new of The Topography	RG	
P02	17.05.24	Revised to include to be demolished	RG	
P01	-	First Issue	RG	

**WESTWORKS**  
www.westworks.co.uk

Westworks Group, Tower 1, 25th Floor, 25 Abchurch Lane, London, EC4N 3DF  
Westworks Group, Tower 1, 25th Floor, 25 Abchurch Lane, London, EC4N 3DF  
Westworks Group, Tower 1, 25th Floor, 25 Abchurch Lane, London, EC4N 3DF

Client Name: **Dominus**

Job Title: **65 Fleet Street London**

Drawing Title: **Level B1 Demolition Plan**



Drawn: **LM** Checked: **RG** Date: **02/12/24**

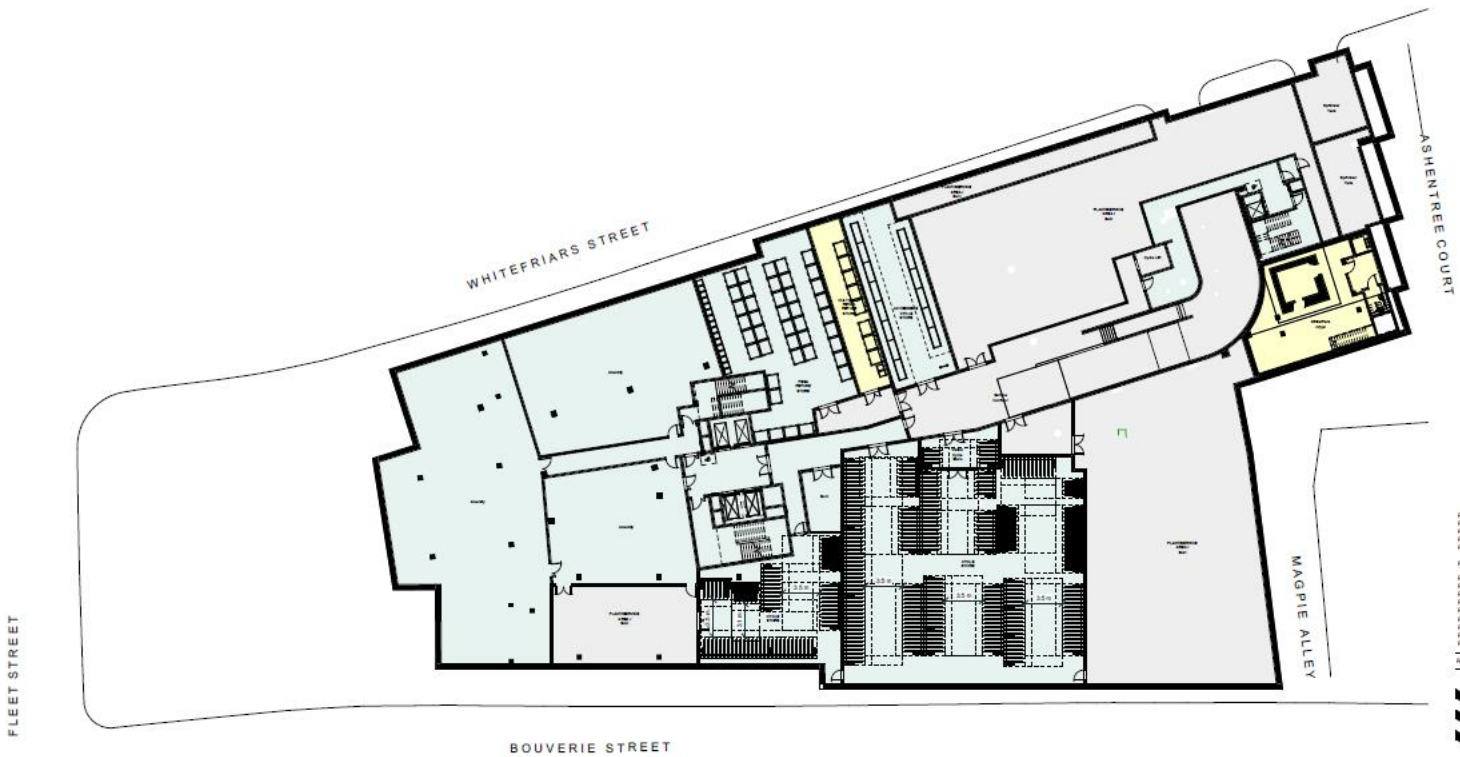
Job No	Client	Site	Level	Scale	Sheet	Total
W0863	WW	ZZ	B1	GA	A	1200
					S2	P04

FOR INFORMATION



Building Use  
 Common  
 Cultural  
 HSA

CDM 2015 Health & Safety Information  
 This information is only for significant hazards identified on this drawing and is to be used in conjunction with the Designer's Risk Assessment Register.



P15	20.03.24	Crystal Installation	RG
P14	20.03.24	Design Development	CR RG
P13	11.07.24	South Access Detail	RG
P12	03.08.24	April Detail Refinement	RG
P11	20.03.24	Access Updated to Match B01 Information and graphics updated to Structural comments	RG
P10	10.03.24	Design Development - Act walls, windows and graphics updated to Structural comments	RG
P9	23.04.24	Crystal Update	RG
P8	05.04.24	Crucis removed as per Client comments	RG
P7	27.03.24	Platform lift to crystal	RG
P6	14.03.24	Revised Lift L1 & B1 Platform Plans	RG
P5	13.03.24	Crystal Structure Platform Lift and MC Detail	RG
P4	11.03.24	Lenses updated on elevs	RG
P3	08.03.24	Design Development	RG
P2	20.02.24	Revised April drawings to L1 & B1	RG
P1	20.03.24	Planning for PMR Issue	RG

Rev	Date	Revision Details	By	Chk
-----	------	------------------	----	-----

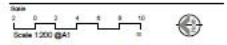
**WESTWORKS**  
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Westworks, Westco, Tower  
 Control Tower, London, EC1A 3BB  
 11 St 17 214 1121 E info@westworks.co.uk  
 Basing: 54 St 10 10 10 10 10 10 10 10  
 West Sussex, BN11 2BN  
 1 01452 34077 E info@westworks.co.uk  
 London: 20 Upper St Giles Street  
 London, EC2A 4DP  
 1 020 7628 2773 E info@westworks.co.uk

Client Name  
**Dominus**

Job Title  
**65 Fleet Street London**

Drawing Title  
**Level B1 Planning Plan**



Drawn  
**EC**

Checked  
**RG**

Date  
**02/06/24**

Job No	Origin	Vol	Level	Type	Code	Number	Sheet	Total
W0863	WW	ZZ	B1	DR	A	0200	S2	P15

FOR INFORMATION

All CAD drawings shall be delivered to the client in a format suitable for their own use. The user must ensure that all drawings are in a suitable format for their own use and are not to be used for any other purpose.

Level B1 Proposed Plan



# 65 Fleet Street, London, EC4Y 1HT

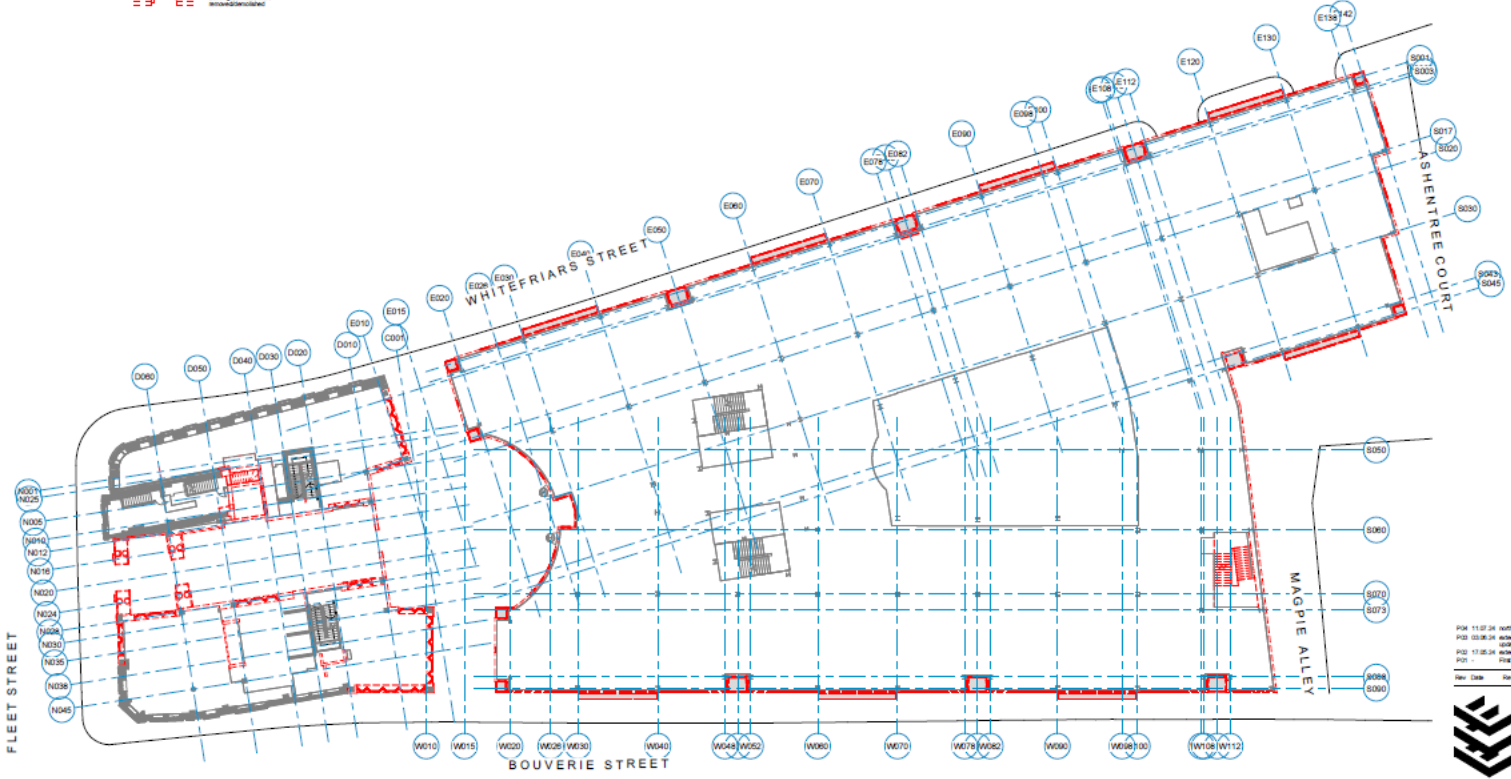
**Key & Notes:**

This drawing should be viewed in Context



**CDM 2015 Health & Safety Information**

This information must only be signified against the drawing and is to be read in conjunction with the relevant Risk Assessment Report



POB	11.07.24	North Annex added	RG
POB	03.08.24	details of demolition to rear of The Tipperary	RG
POB	17.08.24	external walls shown to be demolished	RG
POB	-	Final Issue	RG

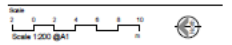
Rev: Date: Revision Details: Dr: GH

Westworks, Second Floor  
 1 St 17 214 1103 St Dunstons Way, London, EC4A 3DF  
 Tel: +44 (0)20 7461 1000  
 Email: [info@westworks.com](mailto:info@westworks.com)  
 T: +44 (0)20 7461 1000  
 F: +44 (0)20 7461 1001  
 London, EC4A 3DF, UK  
 www.westworks.com

Client Name: Dominus

Site: 65 Fleet Street London

Drawing Title: Level 01 Demolition Plan



Client: LM  
 Designer: RG  
 Date: 02/12/24

Job No: W0863 | WW | ZZ | 01 | GA | A | 1203 | 02 | P04

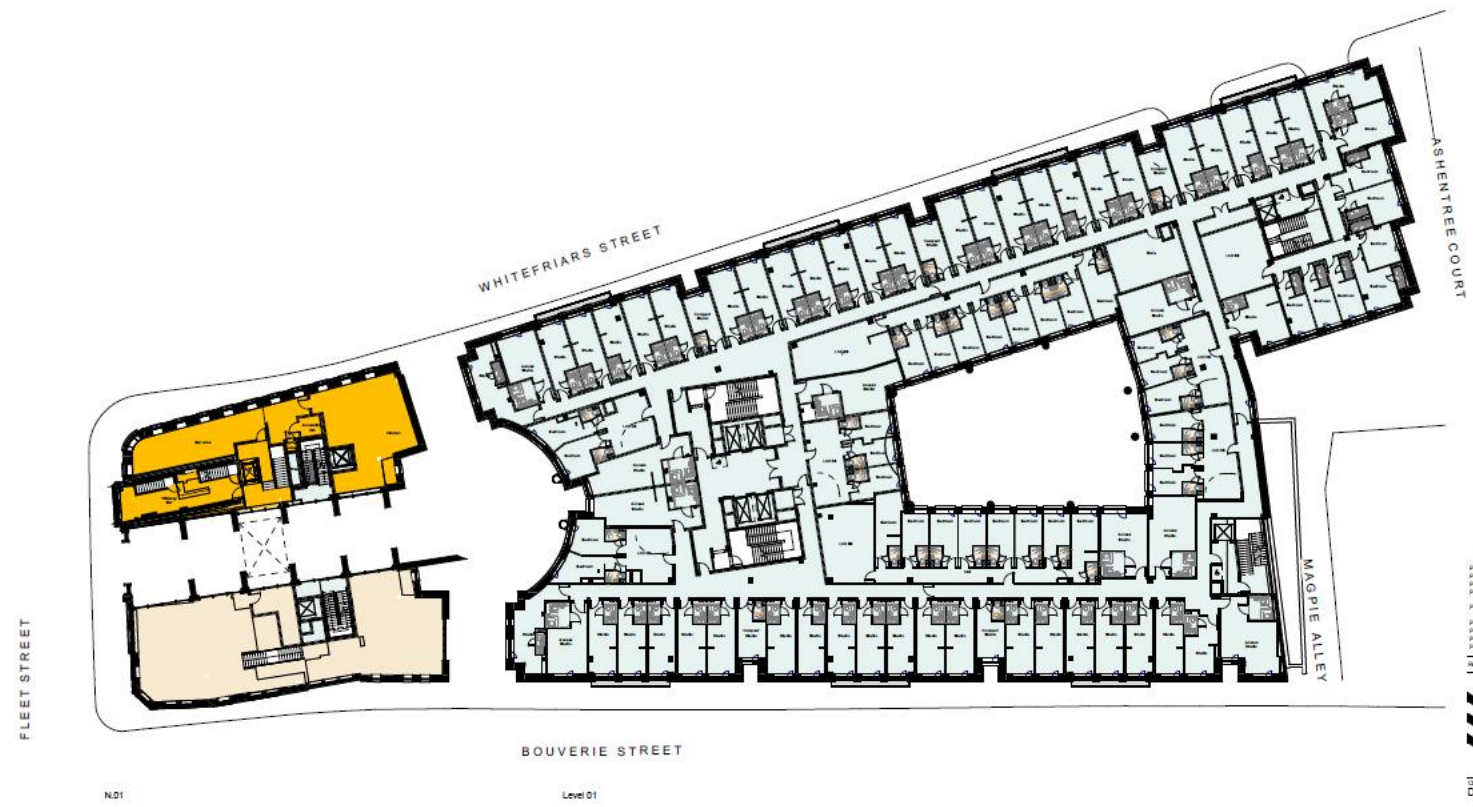
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- Building Use
- FSCA
  - Retail
  - Temporary Pub
  - Consulting

CDM 2015 Health & Safety Information  
 The information below only is significant safety critical or life saving and is to be used in conjunction with the Designer's Risk Assessment Register.



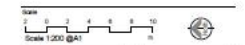
PO9	25.08.24	Design Development	CG	RG
PO8	11.07.24	100% construction	RG	
PO7	03.08.24	100% construction	RG	
PO6	28.05.24	Access control to Level 01 information and graphics updated to current contracts	RG	
PO5	10.05.24	Design development and walls, windows and doors	RG	
PO4	08.04.24	Consultation for new client contracts	RG	RG
PO3	11.03.24	Levels adjusted to ground	RG	RG
PO2	05.02.24	Design Development	RG	RG
PO1	26.08.24	Planning CA Final Issue	RG	CG

West Works  
 65 Fleet Street, London, EC4Y 1HT  
 T: 020 7460 2773 E: london@westworks.com  
 www.westworks.com

Client Name  
 Dominus

Job Title  
 65 Fleet Street London

Drawing Title  
 Level 01 Planning Plan



Drawn: EC  
 Checked: RG  
 Date: 02/05/24

Job No	Origin	Iss	Level	Scale	Number	Sheet	Date
W0863	WW	ZZ	01	DR	A	0203	S2

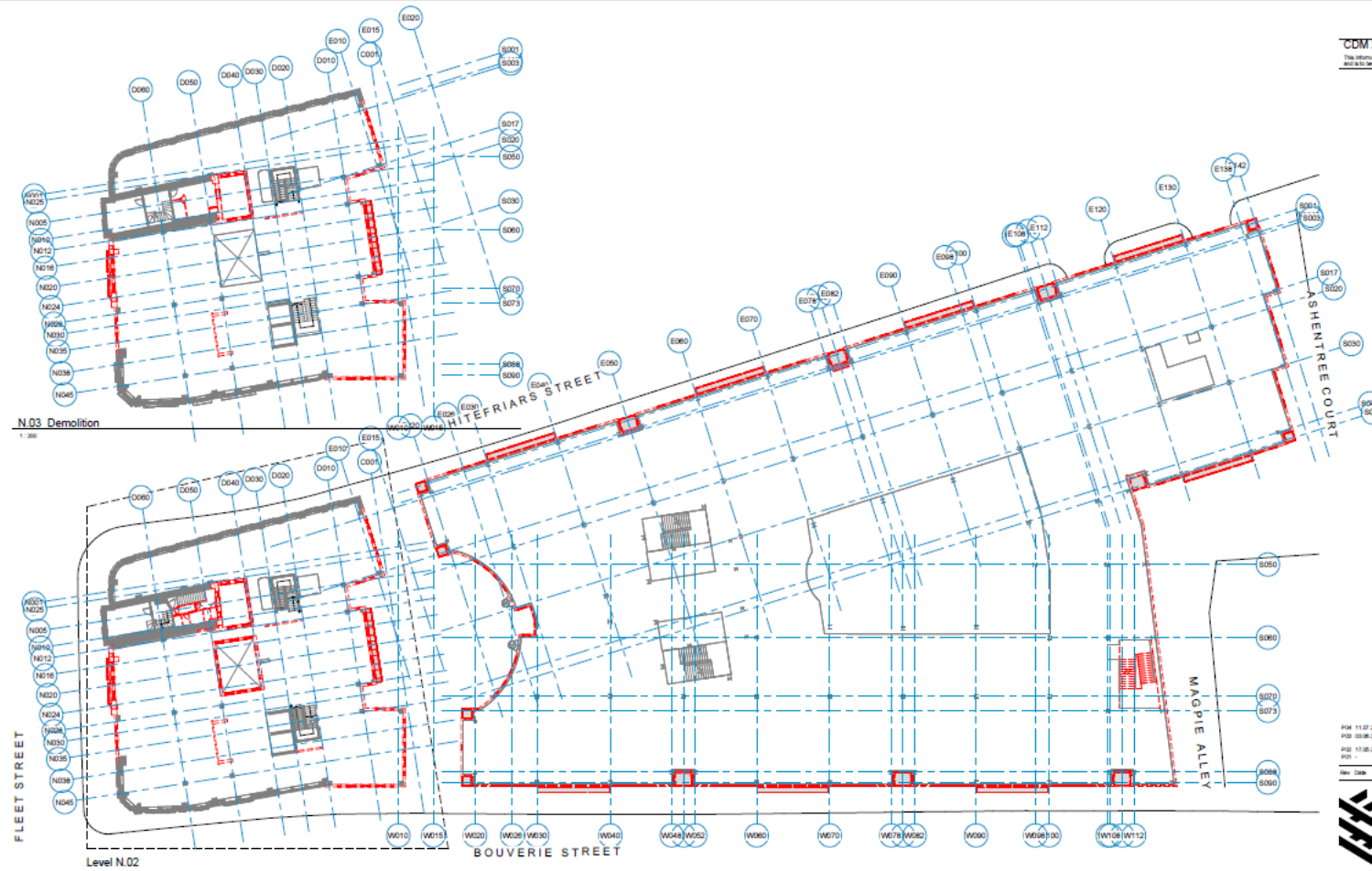
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## Level 01 Proposed Plan



# 65 Fleet Street, London, EC4Y 1HT



**Key & Notes:**  
This drawing should be viewed in Colour



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**CDM 2015 Health & Safety Information**  
The information herein only to significant matters notified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.

PKW	11.07.24	North Arrow Added	RG
PKB	03.08.24	Revised to include the use of the Temporary	RG
PKC	03.08.24	Revised to include the use of the Temporary	RG
PKD	17.05.24	Revised to include the use of the Temporary	RG
PKI	-	Final Issue	RG

Rev. Date. Revision Details. Dr. Ch.

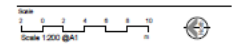
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Westworks Services Team:  
Canton Street, Bristol, BS1 4JG  
Tel: 0117 214 1111 | Email: info@westworks.co.uk  
Broomfield, London, EC1A 3DF  
Tel: 020 7463 24077 | Email: london@westworks.co.uk  
London, EC1A 3DF  
Tel: 020 7463 2724 | Email: london@westworks.co.uk

Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Level 02 Demolition Plan



Drawn: LM, Checked: RG, Date: 02/12/24

Job No:	W0863	Client:	WW	Zone:	Z2	Level:	02	Area:	GA	Phase:	A	Sheet:	1204	Scale:	S2	Page:	P04
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FOR INFORMATION

## Level 02 Demolition

# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 P10A  
 Temporary Pub  
 Calculating...

CDM 2015 Health & Safety Information  
 This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.

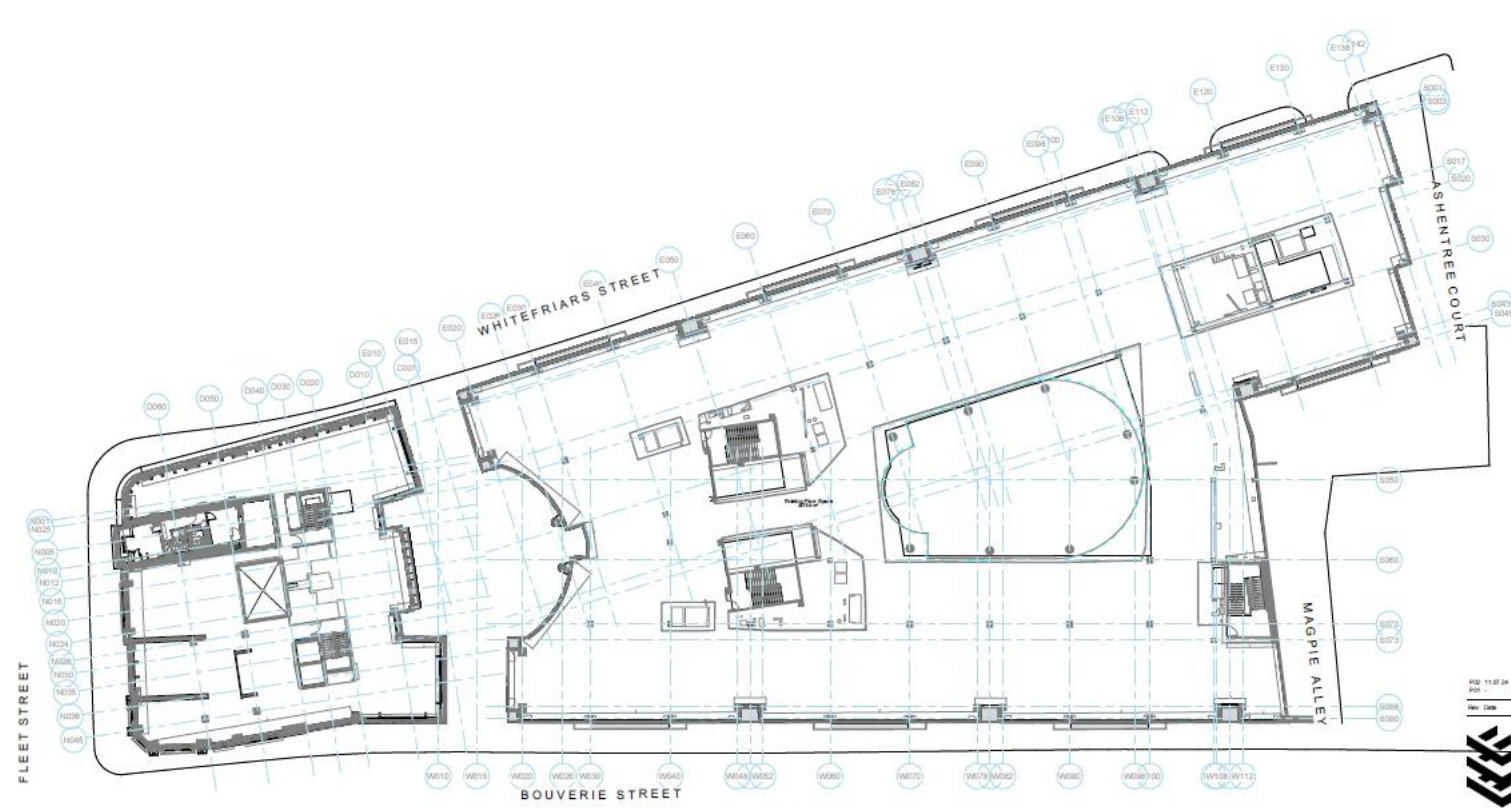


Rev	Date	Revision Details	By	Chk
P10	2023.04	Design Development	OS	RG
P10	11.02.24	North arrow added	RG	
P10	07.08.24	Additional information items shown	PP	RG
P10	03.08.24	DRP added removed	RG	
P10	28.05.24	Access updated to match B2V information and graphics updated to Client comments	RG	
P10	10.05.24	Design development - add walls, windows and doors to build structure	RG	
P10	08.04.24	Consultation with Client comments	RG	
P10	11.03.24	Levels adjusted on stairs	RG	
P10	02.02.24	Design Development	RG	
P10	28.06.24	Planning CA Final Issue	RG	

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 Central Square, London, EC1A 3BB  
 T: 017 214 1122 E: london@westworks.com  
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CDM 2015 Health & Safety Information  
 The information made only to significant hazard identification in this drawing  
 and is to be used in conjunction with the Designer's Risk Assessment Register.



PGD 11.07.24 North Avenue Wood  
 P01 - Fire Alarm  
 Rev. Date: Revision Details: D1 - CH

**WESTWORKS**  
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Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Level 03 Existing Plan

Scale: 1:200 @A1

Date: 30/05/24  
 Drawn: PF  
 Checked: RG

Job No	Origin	Iss	Drawn	Type	Scale	Sheet	Total
WC863	WW	ZZ	03	DR	A	0115	S2 P02

FOR INFORMATION  
500 Per Sheet (100000) 100000

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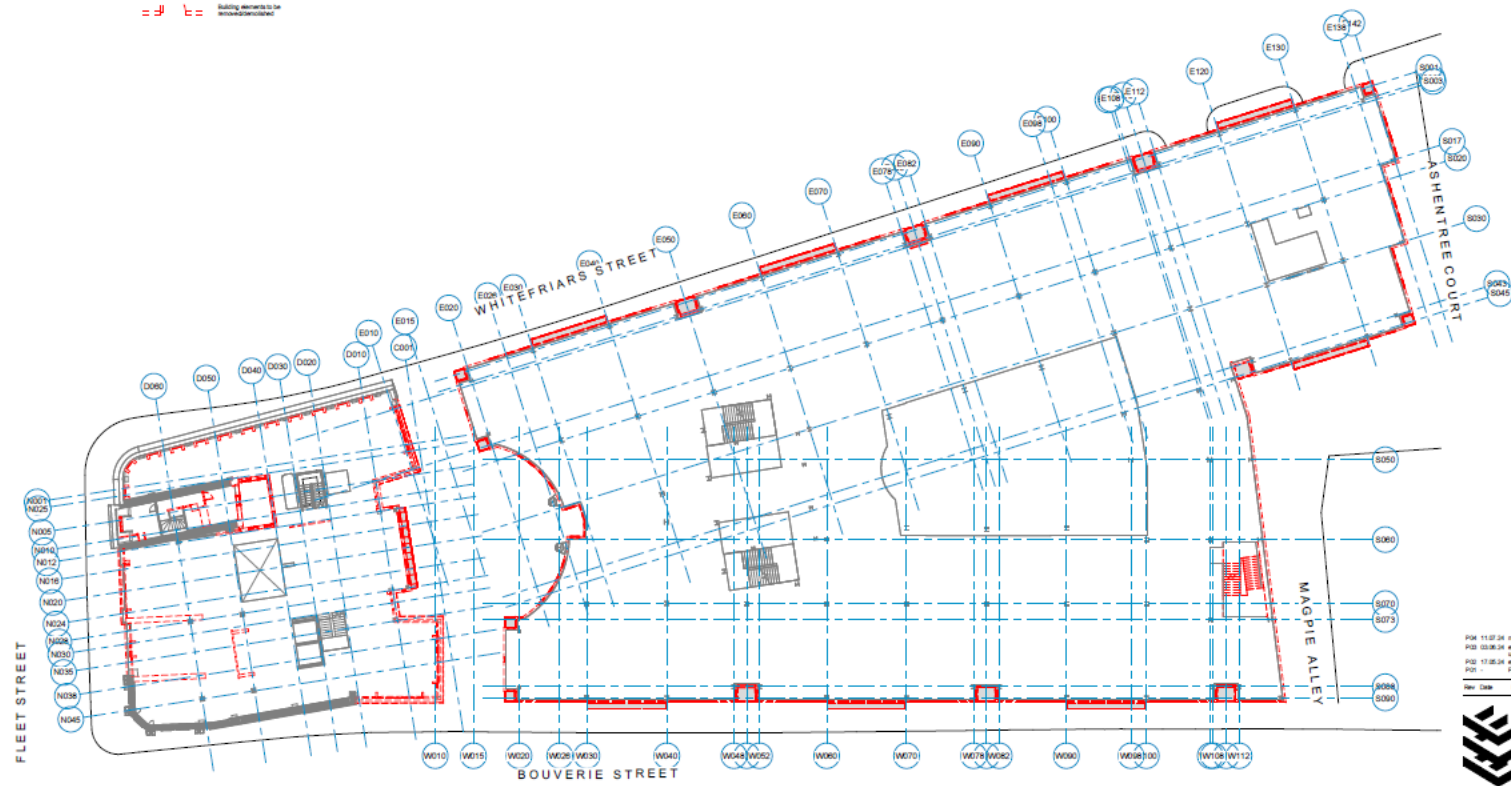
# 65 Fleet Street, London, EC4Y 1HT

**Key & Notes:**

This drawing should be viewed in Colour



**CDM 2015 Health & Safety Information**  
 This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Design Risk Assessment Register



PO1	11.02.24	Issue for approval	RG
PO2	03.05.24	Issued for construction to start of the Tipperary	RG
PO3	17.02.24	Issued for construction to start of the Tipperary	RG
PO4	17.02.24	Issued for construction to start of the Tipperary	RG
PO5	17.02.24	Issued for construction to start of the Tipperary	RG

**WESTWORKS**  
 www.westworks.co.uk

Westworks, Service Tower  
 100 Fleet Street, London, EC4A 3DF  
 T: 020 7417 1101 E: sales@westworks.co.uk  
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 T: 020 7417 1101 E: sales@westworks.co.uk  
 Westworks, 100 Fleet Street, London, EC4A 3DF  
 T: 020 7417 1101 E: sales@westworks.co.uk

Client Name: **Dominus**

Address: **65 Fleet Street London**

Drawing Title: **Level 03 Demolition Plan**



Drawn	Checked	Date
LM	RG	02/12/24

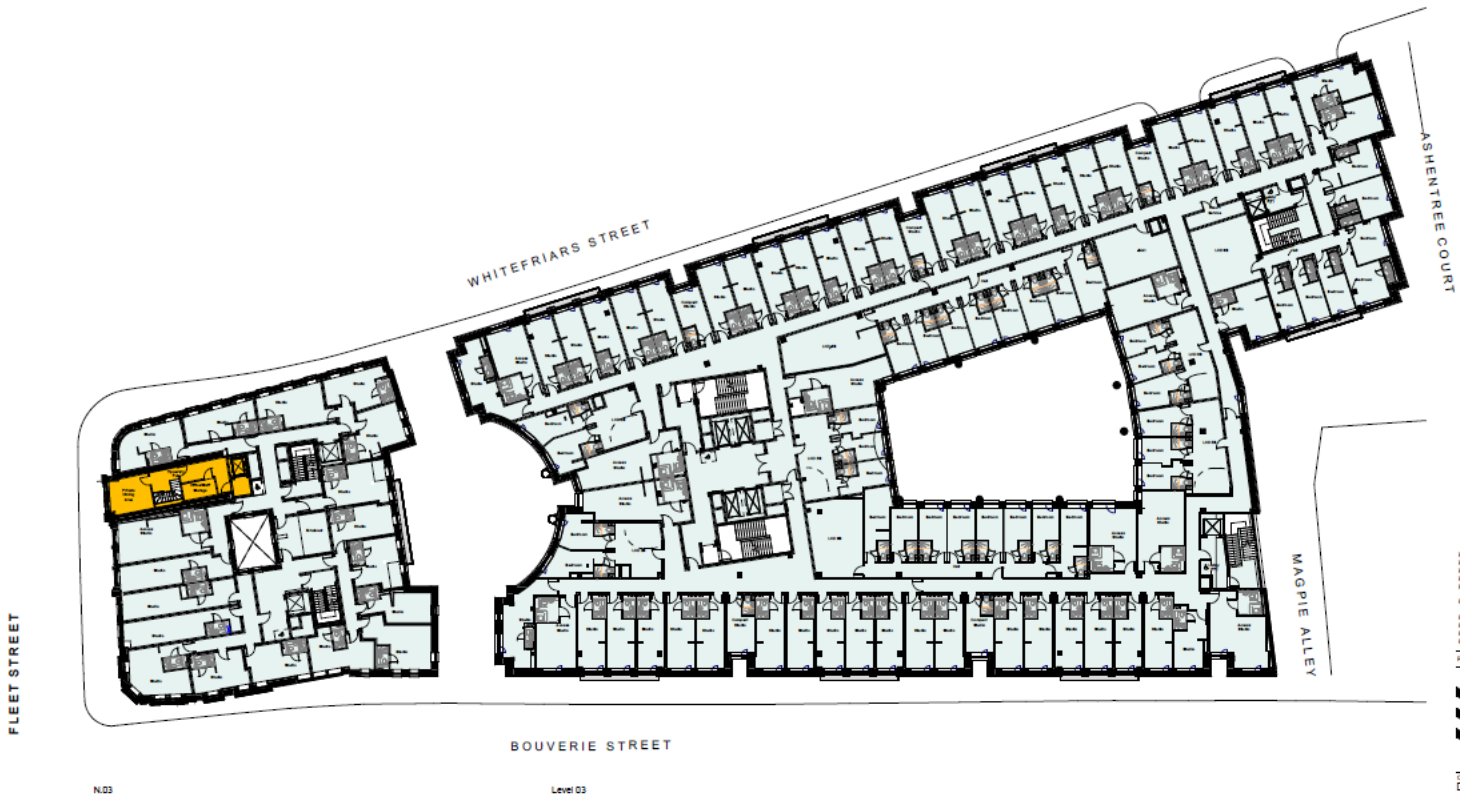
Job No	Disc	Vol	Level	Draw	Issue	Scale	Sheet	Total
W0863	WW	ZZ	03	GA	A	1205	S2	P04

**FOR INFORMATION**

## Level 03 Demolition Plan

# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 ■ F&S  
 ■ Temporary Pub  
 ■ Calculating...



N.03 Level 03

CDM 2015 Health & Safety Information  
 This information is only a significant hazard identification for the drawing and is not a substitute for a full CDM 2015 assessment report.

P10	20.08.24	Design Development	DR	RG
P10	11.07.24	South access added	RG	RG
P10	01.06.24	Additional information items added	RF	RG
P10	03.06.24	Draft update received	RG	RG
P10	26.05.24	Access updated to match BDF information and graphics updated to Client's comments	RG	RG
P10	10.05.24	Design development - add walls, windows and doors based on comments	RG	RG
P10	08.04.24	Consultation and add per Client comments	RG	RG
P10	11.03.24	Layout updated on sheets	RG	RG
P10	05.03.24	Design development	RG	RG
P10	26.02.24	Planning LA/FM Issue	RG	RG

Rev. Date Reason Details DR CR

Westworks, Station Tower  
 Cannon Street, London, EC6A 3DF  
 T: 020 734 1100 E: sales@westworks.com  
 Website: www.westworks.com  
 West Sussex, BN11 2JH  
 T: 01402 34677 E: sales@westworks.com  
 London, EC4A 3DF  
 T: 020 7340 1710 E: london@westworks.com  
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 www.westworks.com

Client Name  
**Dominus**

20 The  
 65 Fleet Street London

Drawing Title  
 Level 03 Planning Plan



Scale  
 Scale 1:200 @A1

EC RG 02/05/24

Job No	Origin	U3	Line	Draw	Issue	Number	Scale	Rev
W0863	WW	ZZ	03	DR	A	0205	S2	P10

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## Level 03 Proposed Plan



# 65 Fleet Street, London, EC4Y 1HT

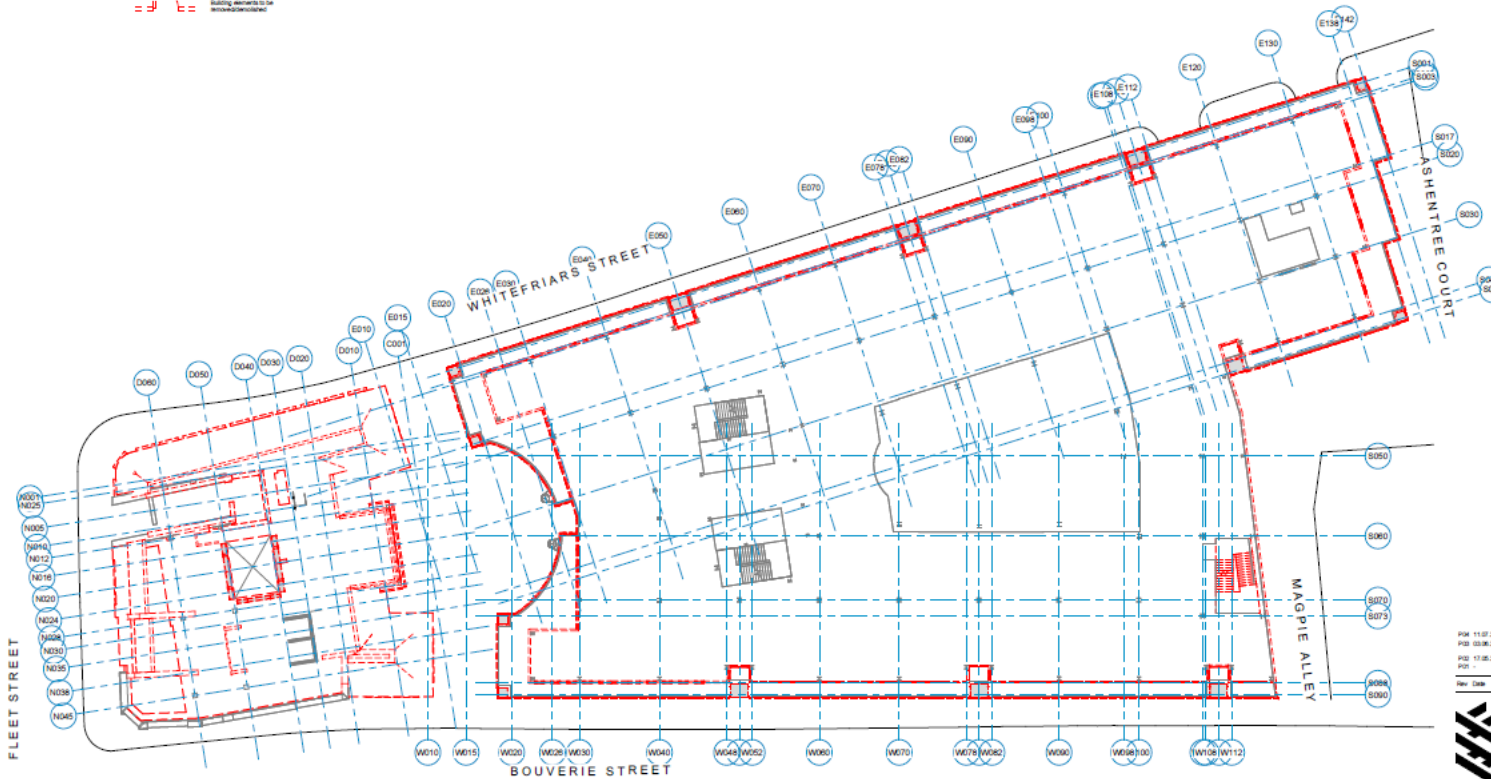
**Key & Notes:**

This drawing should be viewed in Colour

-  Existing walls to remain
-  Existing building structure to remain
-  Building elements to be demolished

**CDM 2015 Health & Safety Information**

This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Project's Risk Assessment Register



PO1	11.07.24	North arrow added	RG
PO2	02.08.24	Revised schedule of demolition to west of The Tapery	RG
PO3	02.08.24	Revised schedule of demolition to west of The Tapery	RG
PO4	17.08.24	Revised walls to be demolished	RG
PO5	-	Final Issue	-

Rev. Date Revision Details Dr. Ch.

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 www.westworks.co.uk

Westworks Group Limited  
 75 Great Suffolk Street  
 London, SE1 1UL  
 T: 020 7600 2719 E: sales@westworks.co.uk

Client Name  
**Dominus**

Job Title  
**65 Fleet Street London**

Drawing Title  
**Level 04 Demolition Plan**



Drawn: LM Checked: RG Date: 02/12/24

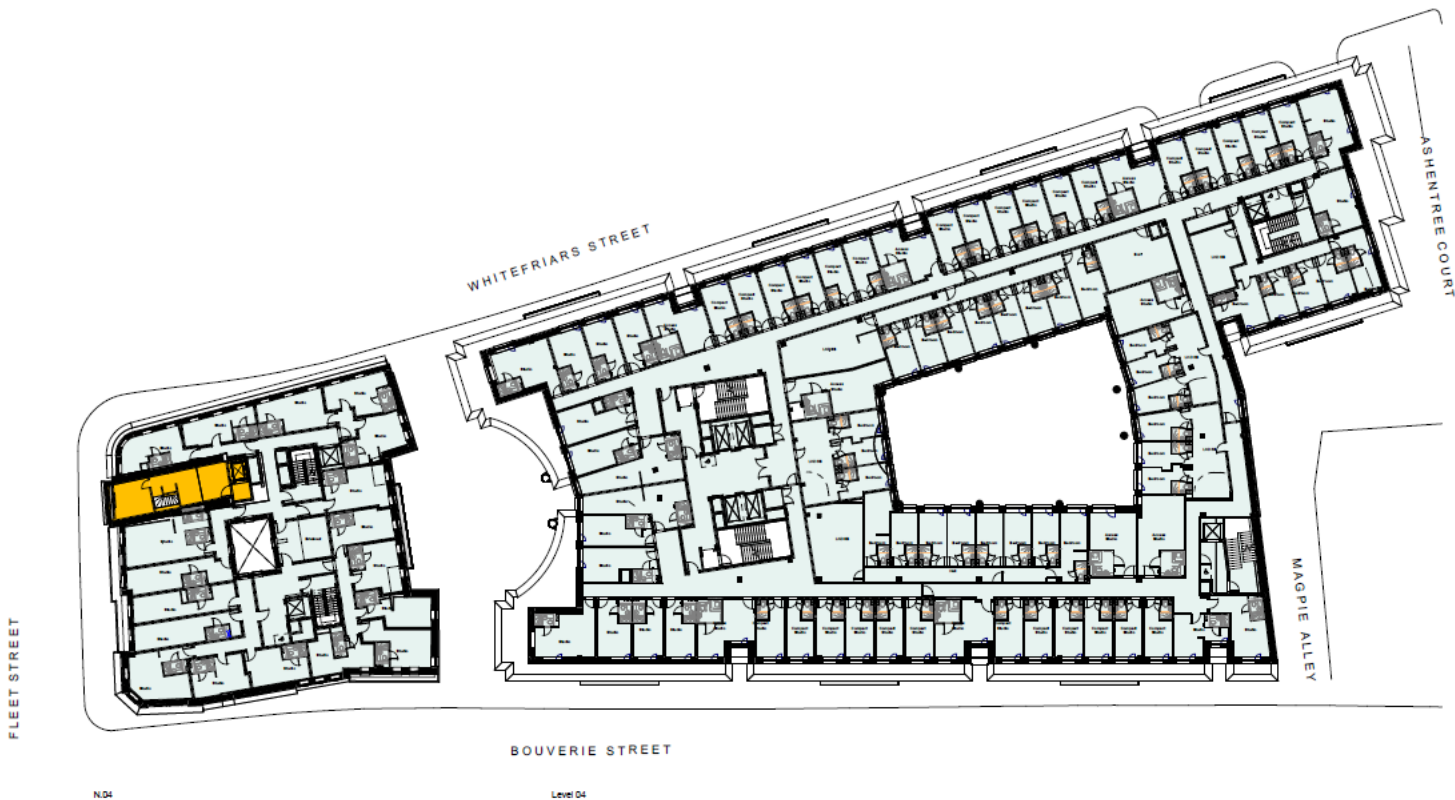
Job No.	Design	Rev	Level	Scale	Block	Sheet	Total
W0863	WW	ZZ	D4	GA	A	1206	32

Block  
**FOR INFORMATION**

## Level 04 Demolition

Building Use  
 ■ FISA  
 ■ Tipperary Pub  
 ■ Catering

CDM 2015 Health & Safety Information  
 The information within this document is for information only and is not to be used in conjunction with the Designer's Risk Assessment Register.



Rev	Date	Revision Details	By	Chk
P01	20.08.24	Design Development	CS	RG
P02	11.02.24	4000 - 4000 - 4000	RG	
P03	03.08.24	4000 - 4000 - 4000	RG	
P04	20.08.24	actions updated to reflect B01 information and graphics updated to Continus comments	RG	
P05	10.02.24	Design Development - and walls, windows and electrical layout amendments	RG	
P06	08.04.24	Continus member to use Continus comments	RG	RG
P07	11.02.24	Louise updated on sheets	RG	RG
P08	02.02.24	Design Development	RG	RG
P09	20.08.24	Planning 04 - Final Issue	RG	RG

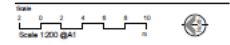
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 25 Abchurch Lane, London, EC4N 3DF  
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 T: 020 7460 24077 E: london@westworks.co.uk  
 Westworks, 100 Fleet Street, London, EC4A 3DF  
 T: 020 7460 2775 E: london@westworks.co.uk

Client Name  
 Dominus

Address  
 65 Fleet Street London

Drawing Title  
 Level 04 Planning Plan



Drawn  
 EC

Checked  
 RG

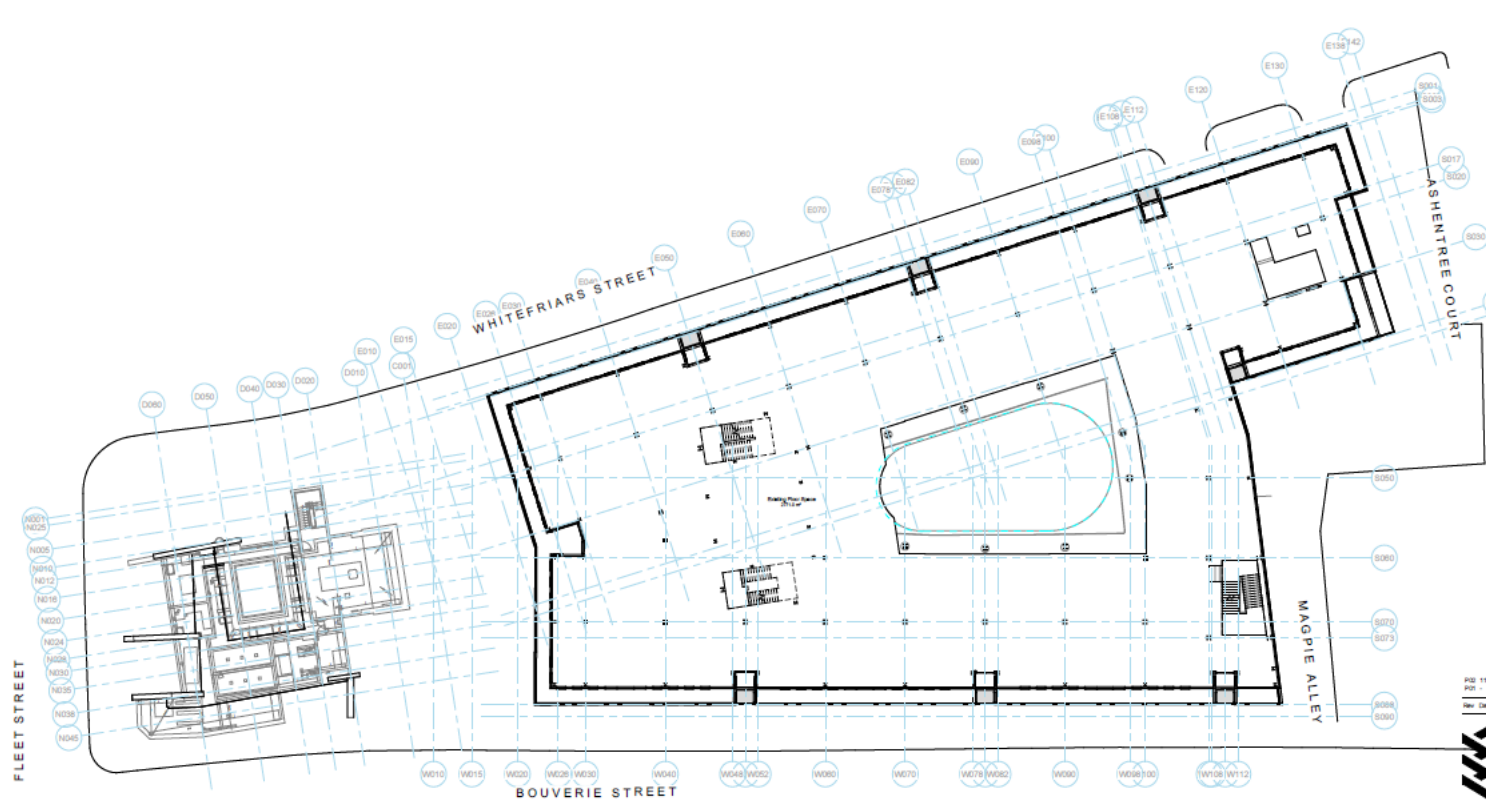
Date  
 02/06/24

Proj No	Client	Use	Level	Zone	Area	Number	Sheet	Total
WG863	WW	ZZ	04	DR	A	0205	02	PO9

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CDM 2015 Health & Safety Information  
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PO2 11 of 24 North Avenue School  
 PO1 - Fire Alarm

Rev. Date Revision Details Dr. Ch

Westworks  
 75 Great Suffolk Street  
 London, SE1 1UL  
 T: 020 7638 2771 E: sales@westworks.co.uk  
 T: 020 7638 2772 E: info@westworks.co.uk  
 www.westworks.co.uk

Client Name  
 Dominus

Job Title  
 65 Fleet Street London

Drawing Title  
 Level 05 Existing Plan

Scale  
 Scale 1:200 (A1)

Drawn  
 PF

Checked  
 RG

Date  
 30/05/24

Job No	Design	Ver	Level	Scale	Sheet	Block	Rev
WD863	WW	ZZ	OS	DR	A	D117	02

FOR INFORMATION

001 Project Information

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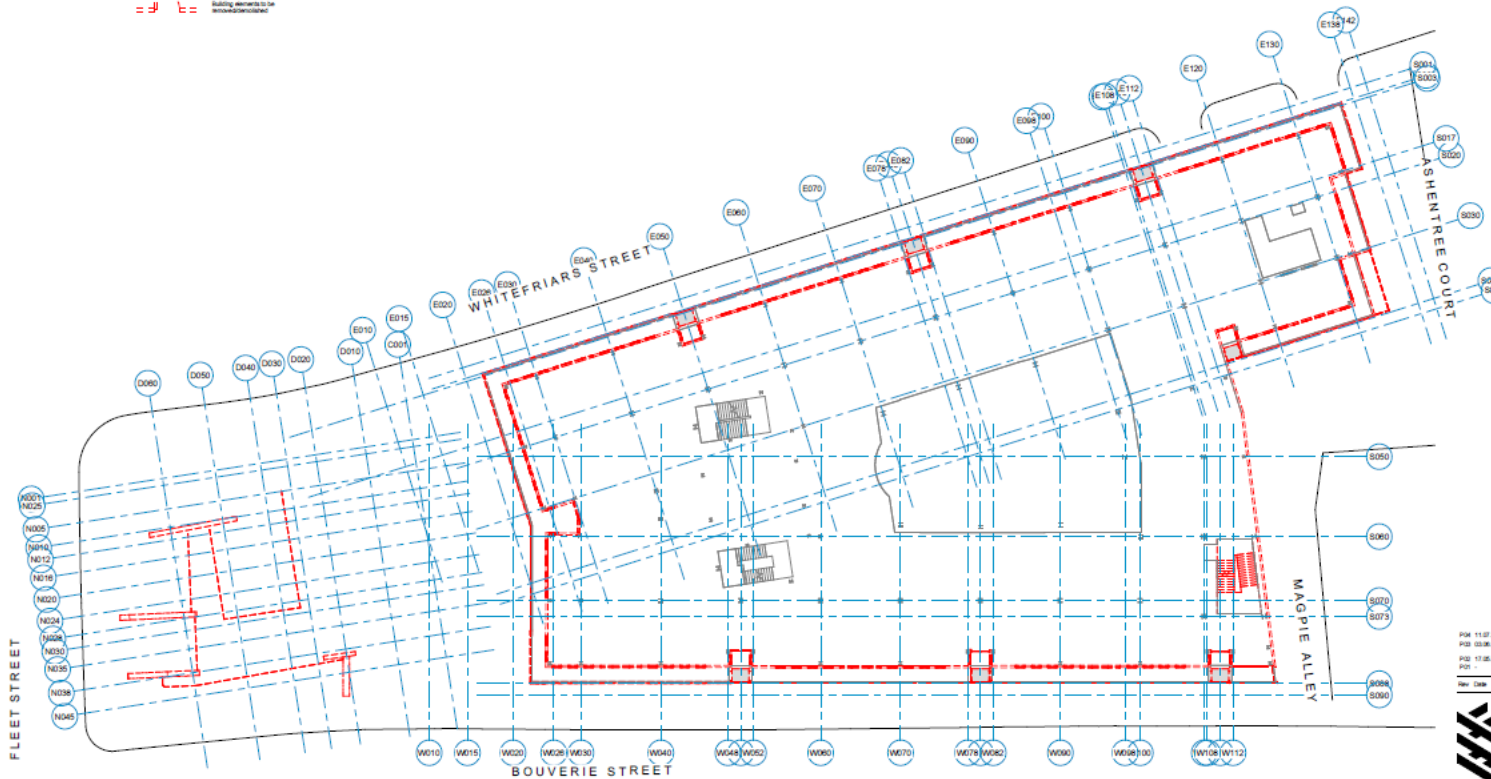
## Level 05 Existing Plan

# 65 Fleet Street, London, EC4Y 1HT

**Key & Notes:**

This drawing should be viewed in Colour

-  Existing walls to remain
-  Existing building structure to remain
-  Building elements to be removed/demolished



CDM 2015 Health & Safety Information  
 The information below only is significant wherever identified on this drawing and has to be read in conjunction with the Designer's Risk Assessment Report.

PO4	11.07.24	North access added	RG
PO3	03.08.24	Revised to include to new of The Tapering	RG
PO2	17.05.24	Revised to include to be demolished	RG
PO1	-	First Issue	-

Rev. Date Revision Details Dr. Cr.

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 Westworks Search Tower  
 1 St 17 214 112 St London EC4Y 1HT  
 Tel: 020 7410 1122  
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Client Name  
**Dominus**

Job Title  
**65 Fleet Street London**

Drawing Title  
**Level 05 Demolition Plan**



Drawn: LM Checked: RG Date: 02/12/24

Job No	Design	Rev	Level	Type	Block	Section	Sheet	Total
WD863	WW	ZZ	05	GA	A	1207	02	PO4

FOR INFORMATION

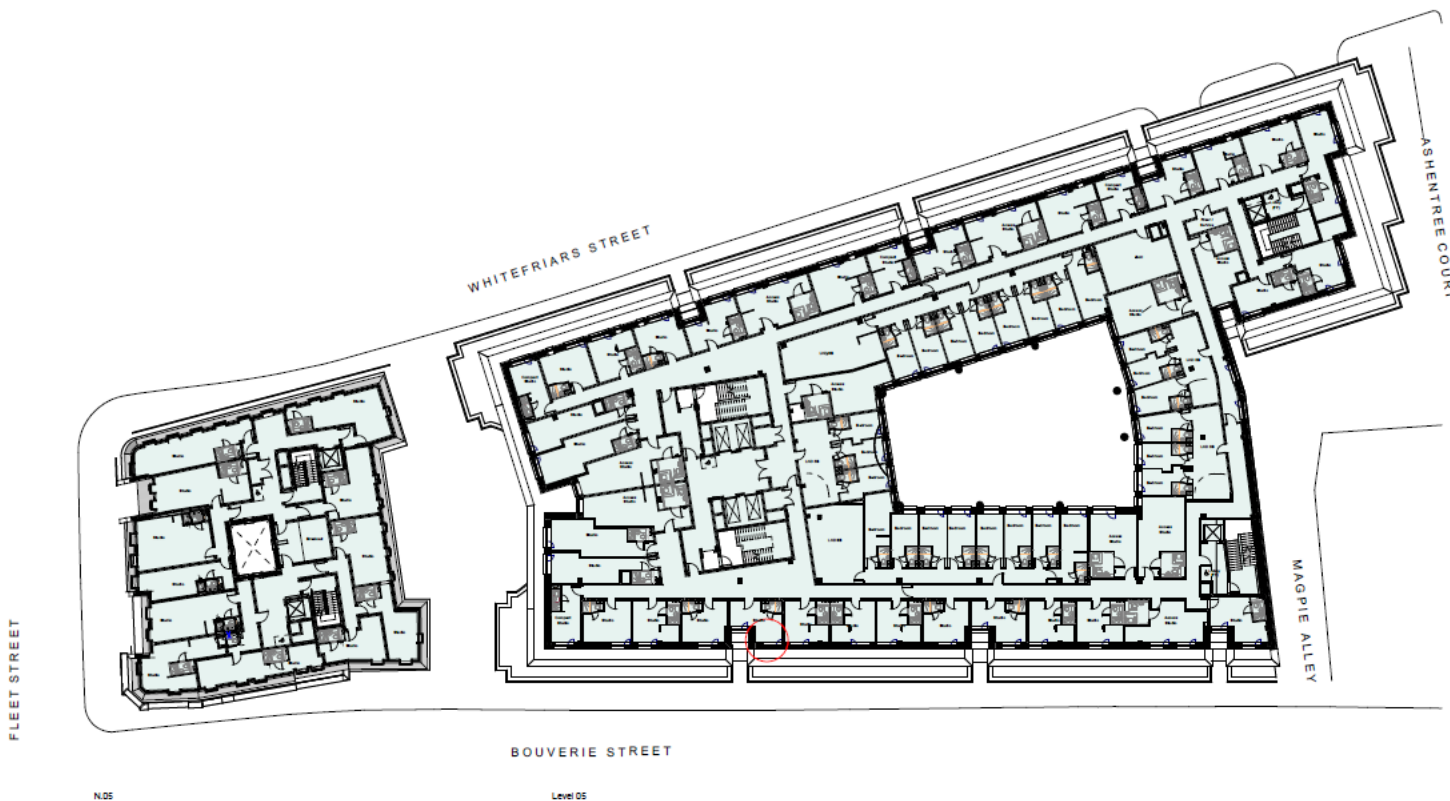
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## Level 05 Demolition Plan

# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 PISA  
 Consulting

CDM 2015 Health & Safety Information  
 The information shown only is significant hazards identified in this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.



PI0	20.08.24	Design Development	DS	RG
PI1	11.07.24	North Access added	RG	RG
PI2	02.08.24	Room internal finish updated to approved DLS	RG	RG
PI3	02.08.24	DRF B&B removed	RG	RG
PI4	28.05.24	Access updated to meet B&B information and graphics updated to current comments	RG	RG
PI5	10.02.24	Design development, set walls, windows and office work arrangements	RG	RG
PI6	08.04.24	Consultation on set client comments	RG	RG
PI7	11.03.24	Levels adjusted on stairs	RG	RG
PI8	02.02.24	Design development	RG	RG
PI9	28.06.24	Planning OA Final Issue	RG	RG

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 020 7421 1100  
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Client Name  
 Dominus

Job Title  
 65 Fleet Street London

Drawing Title  
 Level 05 Planning Plan



Drawn: EC  
 Checked: RG  
 Date: 02/06/24

Job No.	Design	Iss	Rev	Issue	Date	Author	Check	Rev
W0663	WW	ZZ	05	DR	A	0207	S2	P10

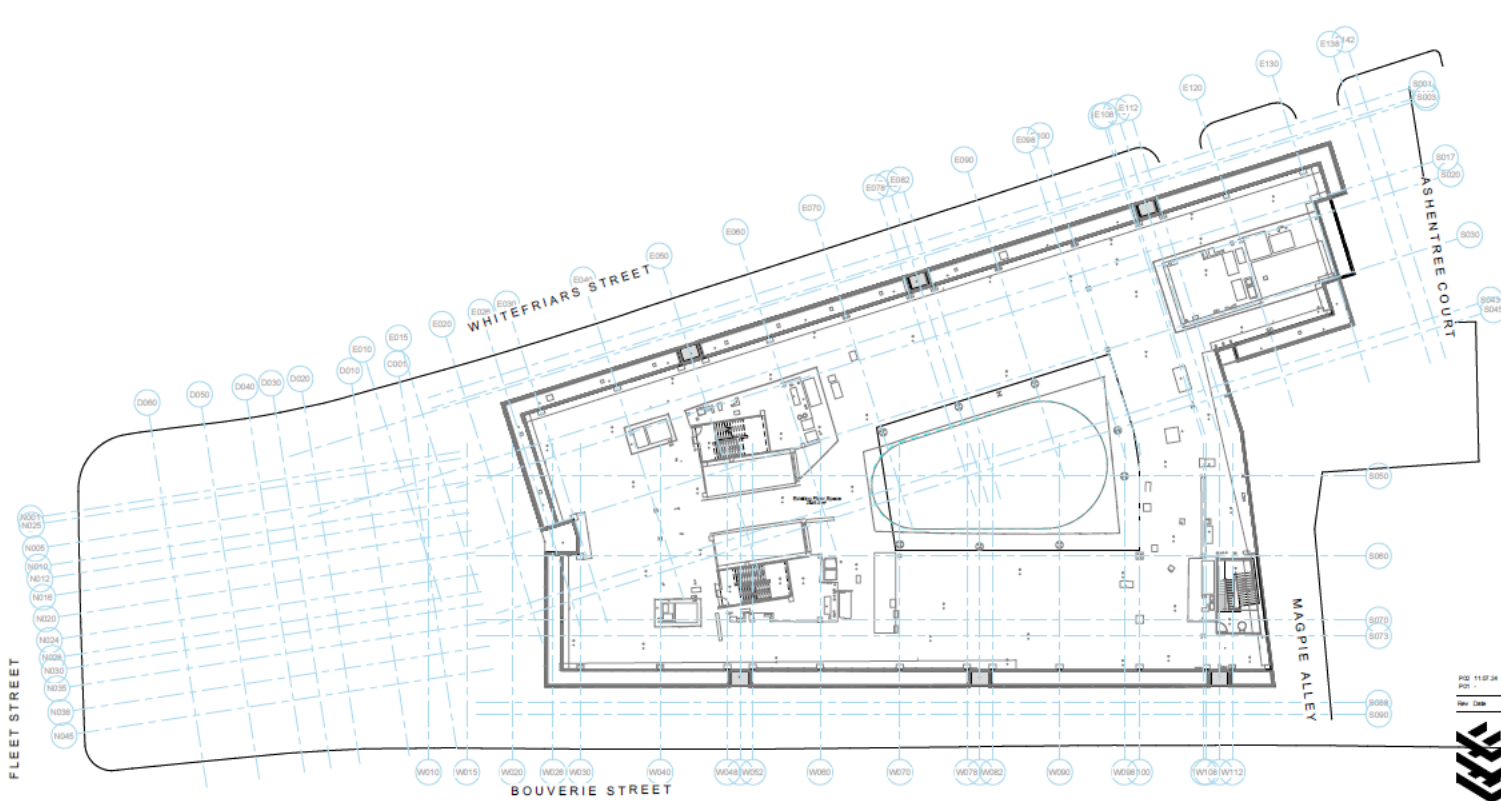
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## Level 05 Proposed Plan



CDM 2015 Health & Safety Information  
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IVD: 11.07.24 (with revised) RG  
 P01: P01 (Rev) RG  
 Rev: Date: Revision Details: Of: To:

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 Westworks, Westwork Tower,  
 Central Square, London, EC1A 3DF  
 T: 0115 214 1122 E: sales@westworks.co.uk  
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 Central Square, London, EC1A 3DF  
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 Westworks, Westwork Tower,  
 Central Square, London, EC1A 3DF  
 T: 0115 214 1122 E: sales@westworks.co.uk

Client Name: Dominus  
 Job Title: 65 Fleet Street London  
 Drawing Title: Level 06 Existing Plan

Scale: 1:500 @A1  
 Date: 30/05/24  
 Checked: RG  
 Drawn: PF

Job No	Origin	Vol	Level	Drawn	Checked	Scale	Sheet	Total
WD863	WW	ZZ	D6	DR	A	0118	52	P02

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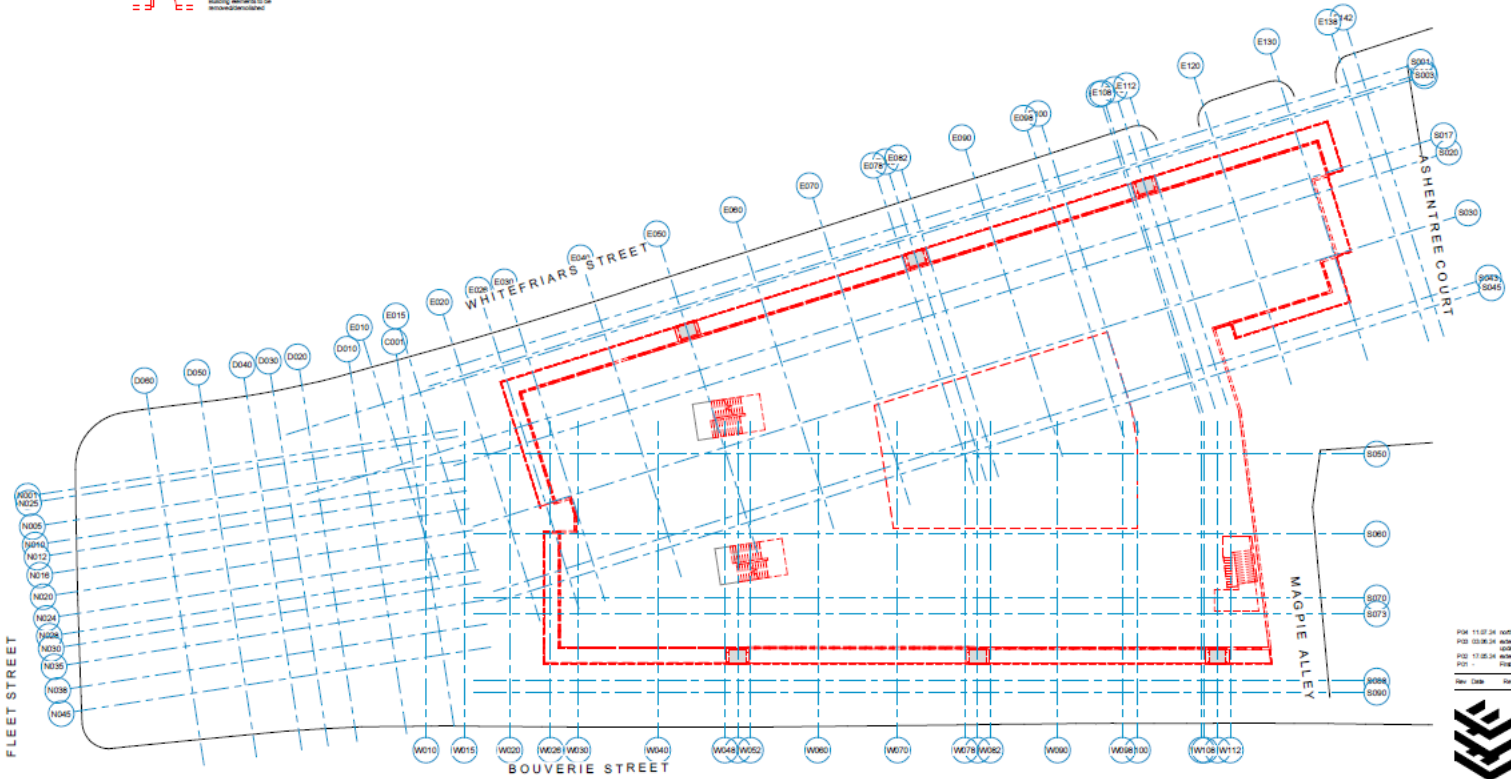
## Level 06 Existing Plan

# 65 Fleet Street, London, EC4Y 1HT

**Key & Notes:**  
This drawing should be viewed in Colour



**CDM 2015 Health & Safety Information**  
This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.



PO1	11.02.24	North arrow added	RG
PO2	03.06.24	update of demolition to west of The Tapery	RG
PO3	13.06.24	external walls added to be demolished	RG
PO4	...	...	...

Rev. Date. Revision Details. DR. CH

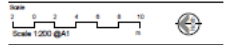
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T: 01753 634266  
E: sales@westworks.co.uk  
Westworks, 25 Abchurch Lane, London, EC4N 3DF  
T: 01753 634266  
E: sales@westworks.co.uk

Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Level 06 Demolition Plan



Drawn: LM Checked: RG Date: 02/12/24

Job No.	Origin	Vol	Level	Type	Rev	Number	Scale	Rev
W0863	WW	ZZ	06	GA	A	1208	S2	PD4

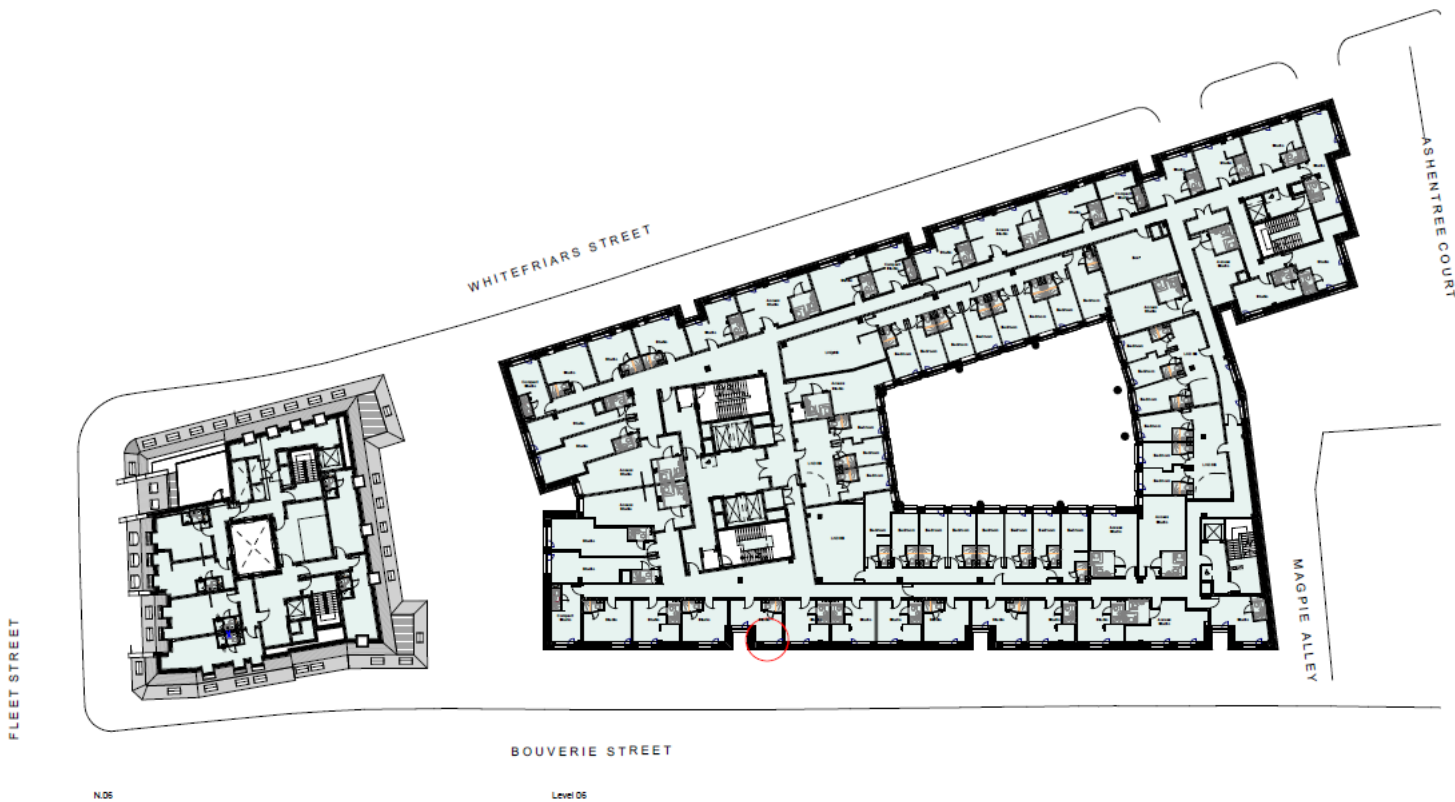
FOR INFORMATION

## Level 06 Demolition Plan

# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 PMSA  
 Calculating...

CDM 2015 Health & Safety Information  
 This information relates only to significant hazards identified on this drawing and is to be used in conjunction with the Designer's Risk Assessment Register.



P10	20.08.24	Design Development	CSH	RG
P08	11.07.24	Room names added	RG	RG
P07	02.06.24	Room internal doors updated & improved CL&S	RG	RG
P02	03.06.24	Staff status reviewed	RG	RG
P06	20.05.24	Access updated to meet B01 information and graphics updated for Dominus comments	RG	RG
P05	10.05.24	Design development - exit routes, windows and vertical layout amendments	RG	RG
P04	08.04.24	Consultation to pre Client comments	RG	RG
P03	11.03.24	Levels adjusted on stairs	RG	RG
P02	02.03.24	Design Development	RG	RG
P01	26.01.24	Planning GA Final Issue	RG	RG

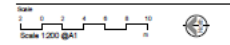
**WESTWORKS**  
 www.westworks.co.uk

Architect: Westworks, Oneiro Tower, 100 Abchurch Lane, London EC4N 3DF  
 Telephone: +44 (0)20 7461 1100  
 Email: info@westworks.co.uk  
 Website: www.westworks.co.uk

Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Level 06 Planning Plan



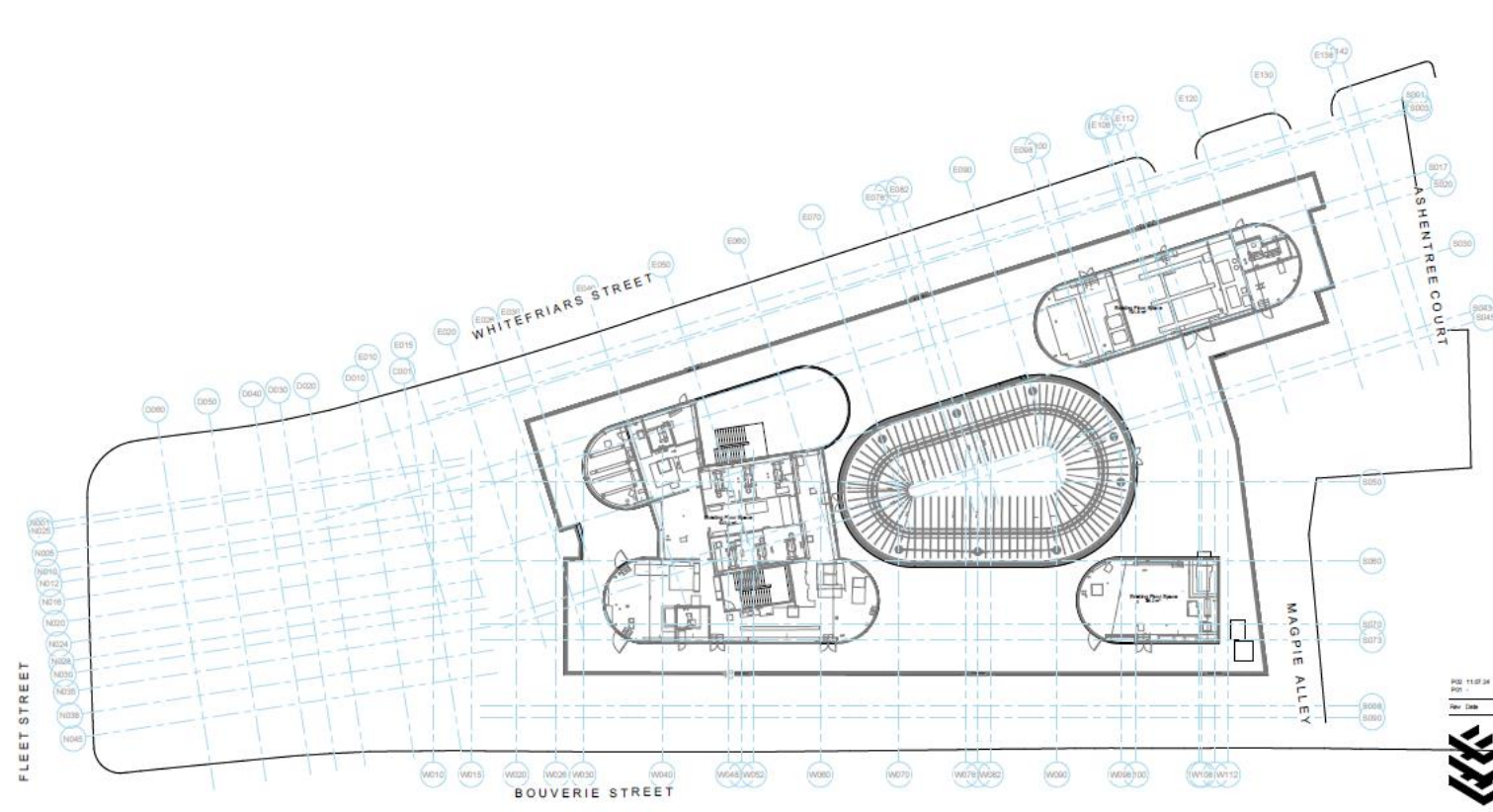
Drawn: EC Checked: RG Date: 26/02/24

Job No	Design	Ver	Level	Room	Rev	Number	Block	Site
WB653	WW	ZZ	06	DR	A	0206	02	P10

Status: FOR INFORMATION

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PO: 11.07.24 North Anna W060  
 P01: Fire Alarm

Westworks  
 11 Old Bailey, London EC4A 3DF  
 T: 020 7417 1122 E: info@westworks.co.uk  
 T: 01902 248777 E: sales@westworks.co.uk  
 75 Green Lanes Street, London E15 2AA

Client Name: Dominus  
 Job No: 65 Fleet Street London  
 Drawing Title: Level 07 Existing Plan  
 Scale: 1:200 @A1  
 Date: 30/05/24  
 Drawn: PF, Checked: RIG  
 Job No: W0663, Origin: WW, Iss: ZZ, Date: 07, Drawn: DR, A, 0119, Sheet: 02, Plot: P02  
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## Level 07 Existing Plan

# 65 Fleet Street, London, EC4Y 1HT

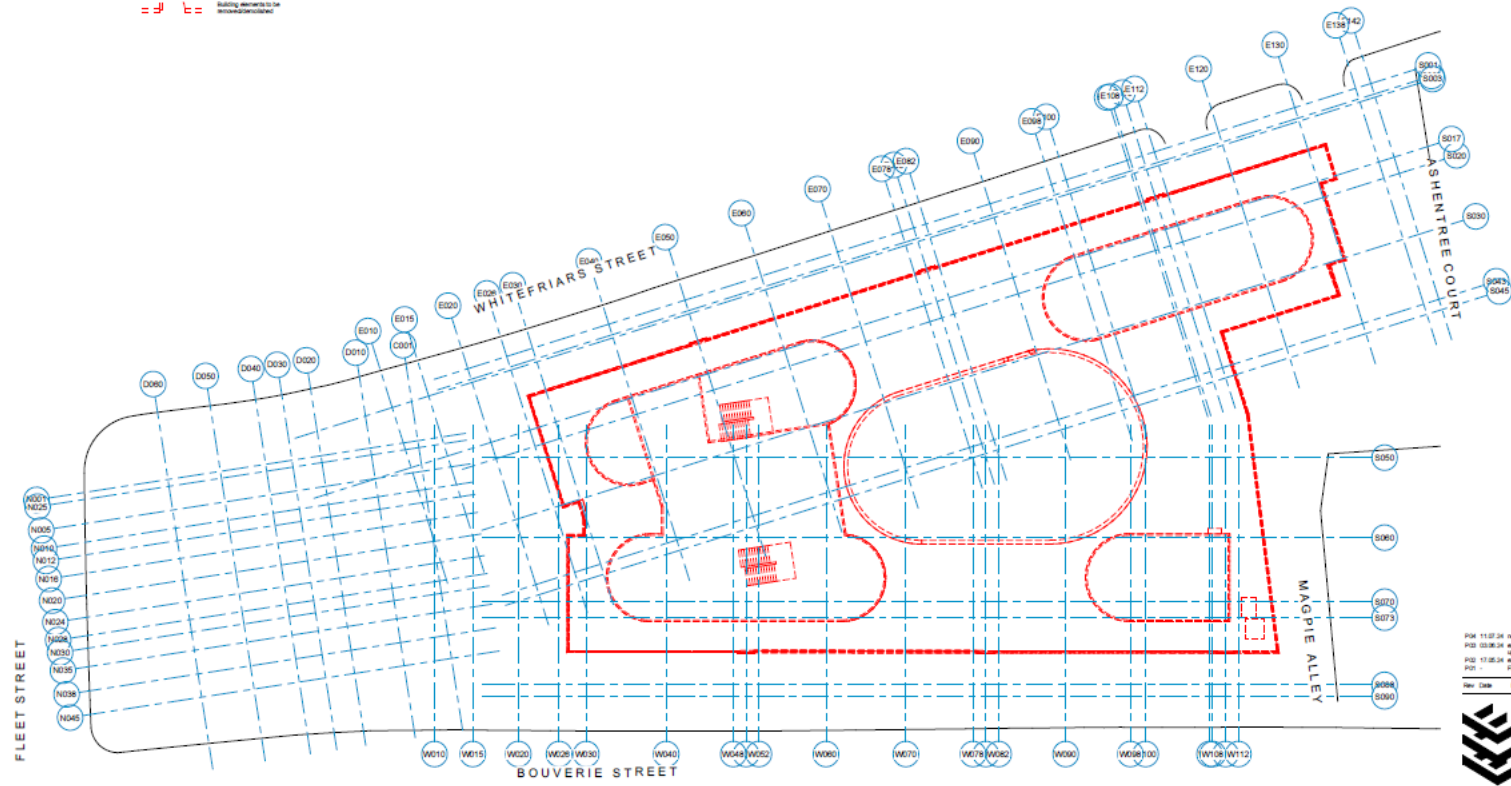
**Key & Notes:**

This drawing should be viewed in Colour



**CDM 2015 Health & Safety Information**

This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Project's Health and Safety Management Plan.



Rev	Date	Revision Details	Dr	Ch
1	11.07.24	Issue for approval	RG	
2	03.08.24	update of demolition to new of the Tipperary	RG	
3	17.08.24	update of demolition to new of the Tipperary	RG	
4		update of demolition to new of the Tipperary	RG	
5		update of demolition to new of the Tipperary	RG	

**WESTWORKS**

Westworks (London) Limited  
 65 Fleet Street, London, EC4Y 1HT  
 T: 020 7417 1111 E: sales@westworks.co.uk  
 W: www.westworks.co.uk  
 LONDON: T: 020 7417 1111 E: sales@westworks.co.uk  
 LONDON: T: 020 7417 1111 E: sales@westworks.co.uk

Client Name: Dominus

Site No: 65 Fleet Street London

Drawing Title: Level 07 Demolition Plan



Drawn	Checked	Date
LM	RG	02/12/24

Job No	Design	Rev	Issue	Date	Author	Checker
W0863	WW	ZZ	07	GA	A	1205

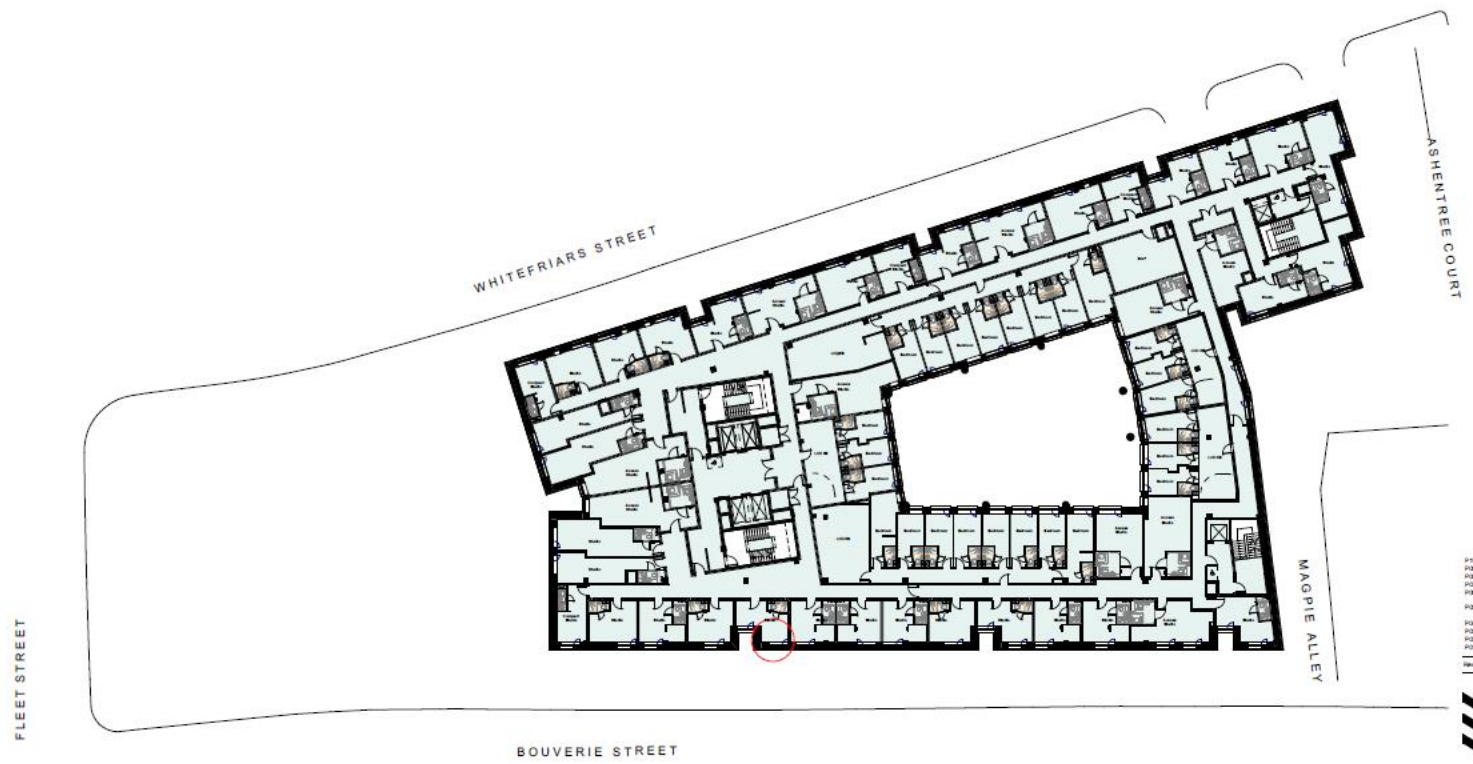
FOR INFORMATION

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# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 FDSA  
 Calculating

CDM 2015 Health & Safety Information  
 This information relates only to significant risks identified on this drawing and is to be read in conjunction with the project's full assessment register.



Rev	Date	Revision Details	By	CHK
R10	20.08.24	Design Development	CGH	RGJ
R09	11.07.24	North Annex added	RGJ	RGJ
R08	07.06.24	Minor internal layout updates to proposed club	RGJ	RGJ
R07	03.06.24	Staff welfare room	RGJ	RGJ
R06	28.05.24	Proposed updates to Level 06 IT infrastructure and graphics system - structural comments	RGJ	RGJ
R05	10.05.24	Design development - roof areas, windows and internal layout amendments	RGJ	RGJ
R04	08.04.24	Calculations provided as per Client comments	RGJ	RGJ
R03	11.03.24	Layout updated on levels	RGJ	RGJ
R02	05.02.24	Design development	RGJ	RGJ
R01	20.08.23	Issuing ICA Floor plan	RGJ	RGJ

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Company Name: Dominus

Project Name: 65 Fleet Street London

Drawing Title: Level 07 Planning Plan

Scale: 1:200 @A1

Client: EC

Checked: RGJ

Date: 02/05/24

Job No: W0653 WW ZZ 07 DR A 0205 S2 P10

Issue: FOR INFORMATION

Get the full story on 11 May

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Level 07 Proposed Plan

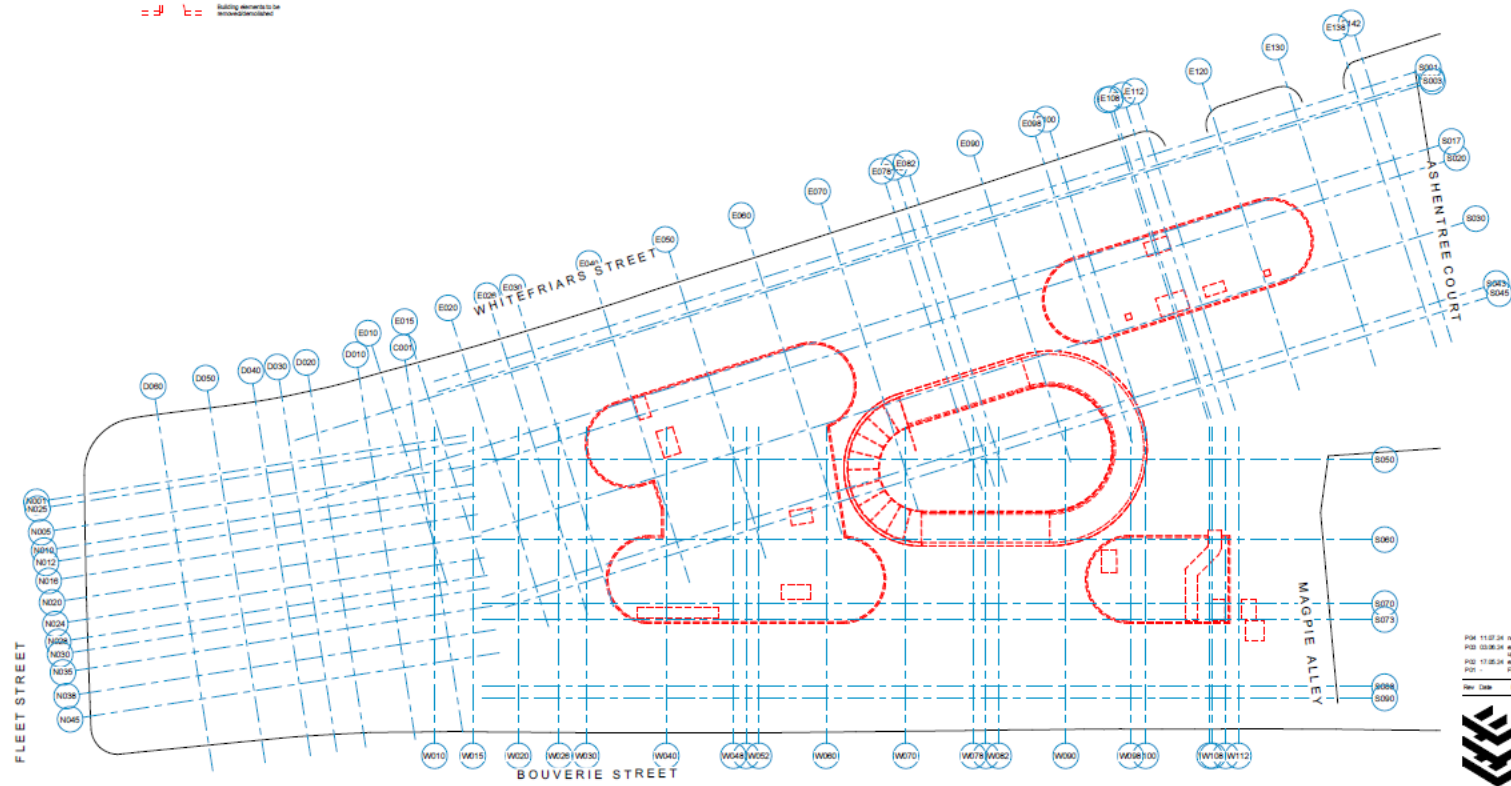
**Key & Notes:**

This drawing should be viewed in Color



**CDM 2015 Health & Safety Information**

This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Project's Risk Assessment Register



PO1	11.02.24	Issue for approval	RG
PO2	03.06.24	Issued for demolition to start of the Tipperary	RG
PO3	17.02.24	Issued for demolition to start of the Tipperary	RG
PO4	17.02.24	Issued for demolition to start of the Tipperary	RG

Rev	Date	Revision Details	By	Chk
-----	------	------------------	----	-----

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www.westworks.co.uk

Westworks, Service Tower  
Capital Street, London, EC4Y 1HT  
T: 01753 631111 | E: sales@westworks.co.uk  
Westworks, 1st Floor, 100, Abchurch Lane, London, EC4N 3DF  
T: 020 7460 0477 | E: sales@westworks.co.uk  
Westworks, 2nd Floor, 100, Abchurch Lane, London, EC4N 3DF  
T: 020 7460 0477 | E: sales@westworks.co.uk

Client Name: Dominus

Address: 65 Fleet Street London

Drawing Title: Level 08/Roof Demolition Plan

Scale: 1:200 @A1

Drawn: LM

Checked: RG

Date: 02/12/24

Job No	Client	Site	Level	Room	Block	Sheet	Total
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W0653 | WW | ZZ | 08 | GA | A | 1210 | S2 | P04

Status: FOR INFORMATION

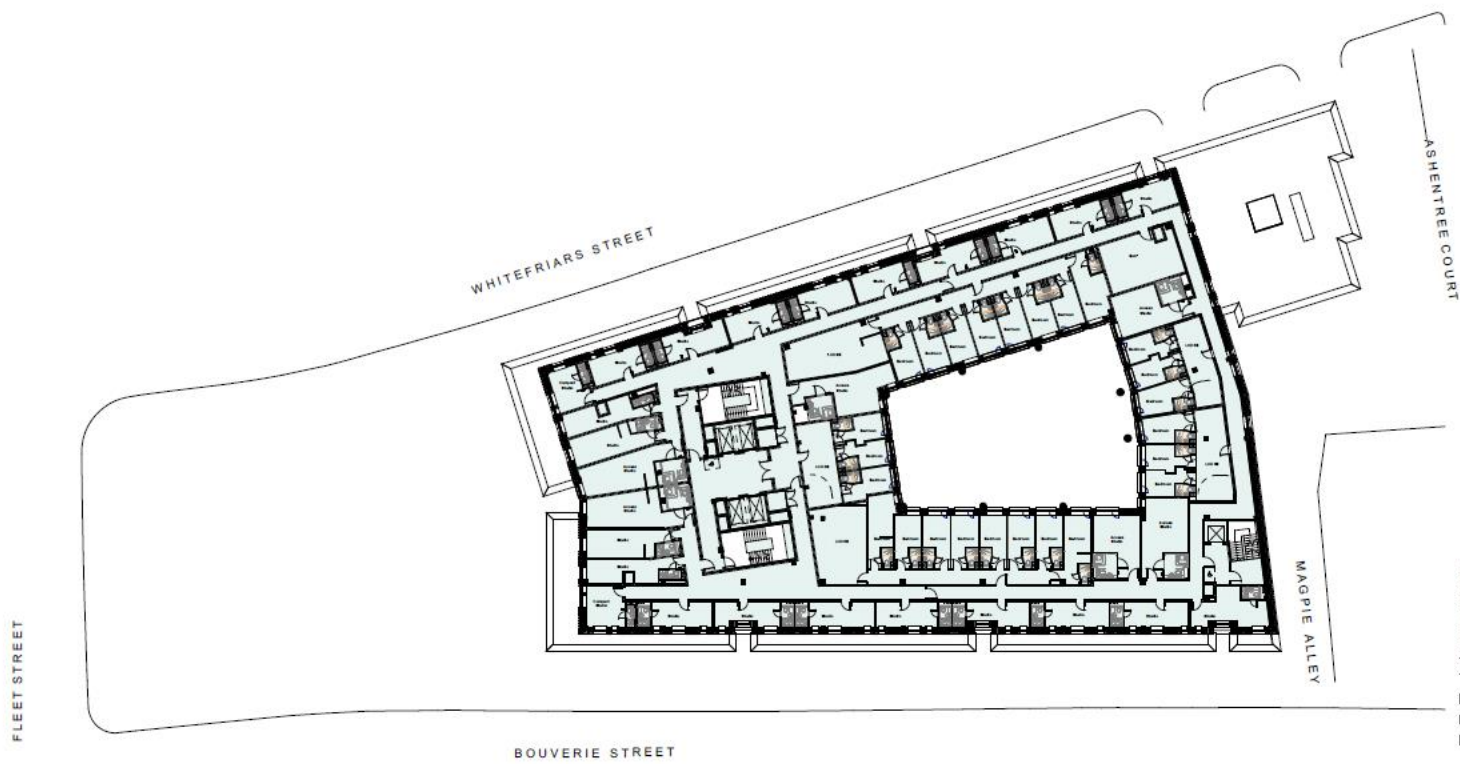
001 Plot Date: 02/12/24

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# 65 Fleet Street, London, EC4Y 1HT

Building Use  
 ■ PPSA  
 ■ Calculating

CDM 2015 Health & Safety Information  
 The information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.



Rev	Date	Revised Details	By	CS
001	20.08.24	Design Development	RG	RG
002	11.02.24	Health and Safety	RG	RG
003	03.08.24	Health and Safety	RG	RG
004	28.05.24	Revisions updated to reflect BMR information and	RG	RG
005	10.02.24	Revisions updated to reflect comments	RG	RG
006	08.04.24	Revisions updated to reflect comments	RG	RG
007	11.02.24	Revisions updated to reflect comments	RG	RG
008	02.02.24	Revisions updated to reflect comments	RG	RG
009	26.08.24	Revisions updated to reflect comments	RG	RG

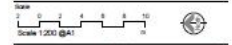
**WESTWORKS**  
 www.westworks.co.uk

Westworks, Second Floor  
 75 Fleet Street, London, EC4Y 1HT  
 T: 020 7214 1127 E: sales@westworks.co.uk  
 Westworks, 1st Floor, 100 Abchurch Lane, London, EC4N 3DF  
 T: 020 7214 1127 E: sales@westworks.co.uk  
 Westworks, 1st Floor, 75 Fleet Street, London, EC4Y 1HT  
 T: 020 7214 1127 E: sales@westworks.co.uk

Client Name  
 Dominus

237 7th  
 65 Fleet Street London

Drawing Title  
 Level 08 Planning Plan



Scale  
 Scale 1:200 @A1

Drawn  
 EC

Checked  
 RG

Date  
 02/06/24

Job No	Client	Use	Level	Draw	Issue	Number	Block	Rev
WG863	WW	ZZ	08	DR	A	0210	S2	PO9

FOR INFORMATION

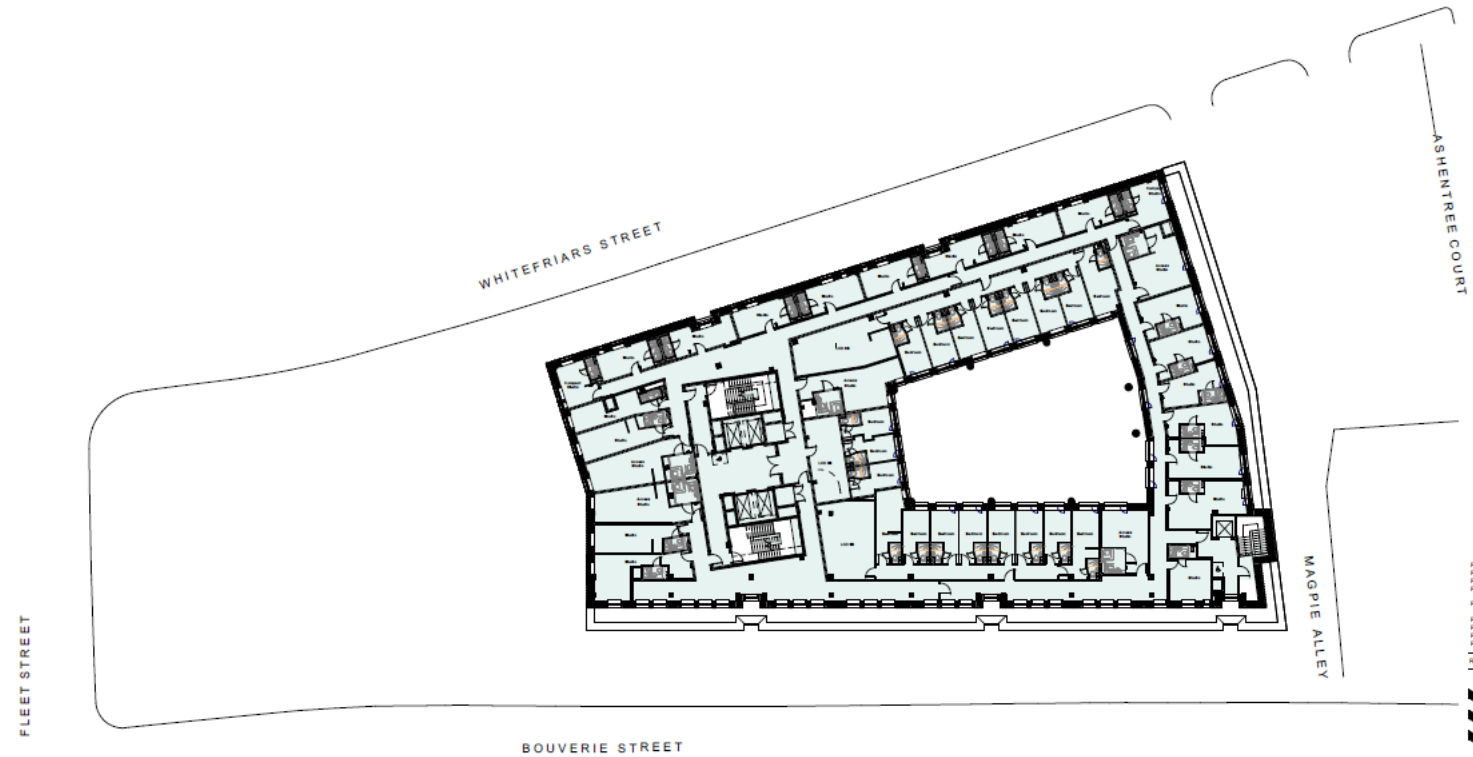
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## Level 08 Proposed Plan



Building Use  
 ■ PISA  
 ■ Consulting

CDM 2015 Health & Safety Information  
 This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.



Rev	Date	Revision Details	Dr	Ch
P06	20.08.24	Design Development	DS	RG
P08	11.02.24	North access added	RG	
P07	03.08.24	Drift doors removed	RG	
P09	26.05.24	Access updated to match B21 information and graphics updated to Dominus comments	RG	
P05	10.05.24	Design development - add walls, windows and internal doors as indicated	RG	
P04	08.04.24	Consultation with client comments	EC	RG
P03	11.03.24	Levels adjusted as shown	EC	RG
P02	05.02.24	Design Development	EC	RG
P01	26.08.24	Planning for First Issue	EC	RG

**WESTWORKS**  
 www.westworks.co.uk

Westworks, Weston Tower  
 Cannon Street, London, EC6A 3AF  
 T: 01 753 214 1100 E: info@westworks.co.uk  
 Website: www.westworks.co.uk  
 Branch: 54, Old Bailey Road, Watlington  
 West Sussex, BN11 2BN  
 T: 01403 346777 E: west@westworks.co.uk  
 London: 20 Green Lanes Street  
 London, EC2M 2DE  
 T: 020 7468 2773 E: london@westworks.co.uk

Client Name  
**Dominus**

Job Title  
**65 Fleet Street London**

Drawing Title  
**Level 09 Planning Plan**



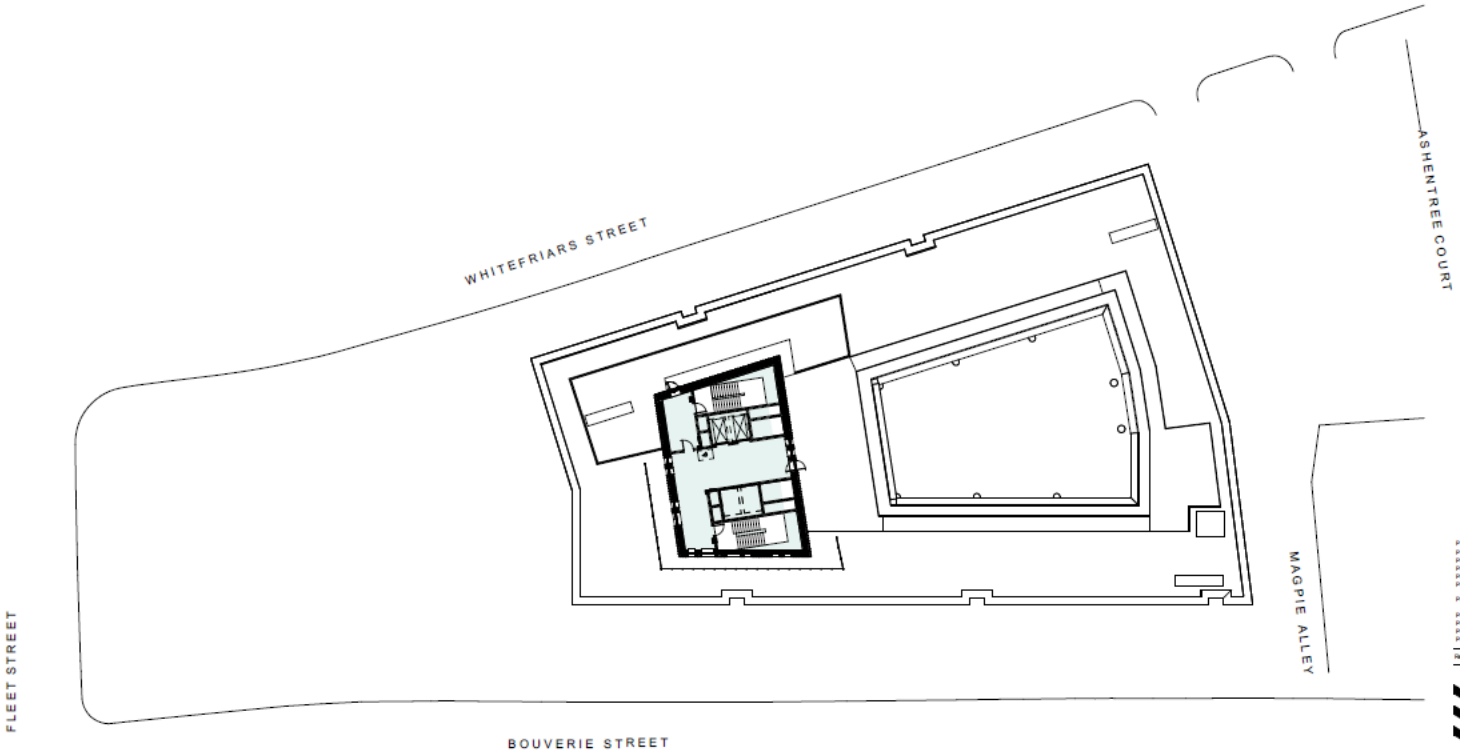
Drawn: EC  
 Checked: RG  
 Date: 02/06/24

Job No	Origin	Vol	Level	Disc	Sheet	Block	Rev
W0863	WW	ZZ	09	DR	A	0211	S2 P09

Scale  
**FOR INFORMATION**  
 500 Permitted Maximum 11.0m

All IFC drawings issued by Dominus are made from AutoCAD files for the purpose of printing only. The designer must ensure all drawings are IFC for consistency and responsibility to ensure compliance with building regulations.

CDM 2015 Health & Safety Information  
The information made only is significant safety identified in this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.



P11	08.10.24	Room numbers added	RG
P12	21.08.24	Col. 110 amendments	CS RG
P13	20.08.24	Design Development	CS RG
P14	11.07.24	Room numbers added	RG
P15	02.08.24	DRP added/revised	RG
P16	28.05.24	Access control to lobby 1011 information and graphics updated to current comments	RG
P18	10.05.24	Design development - wall, window and door type amendments	RG
P19	03.05.24	Door 1010 door type added	RG
P20	08.04.24	Columns amended as per client comments	RG
P22	11.03.24	Levels updated to levels	RG
P23	-	Final Issue	-

Rev	Date	Revision Details	By	Ch
-----	------	------------------	----	----

**WESTWORKS**  
www.westworks.co.uk

Westworks Design Tower  
Cannon Street, London, EC6A 3DF  
T: 0121 214 1100 E: sales@westworks.co.uk

Westworks  
65-66 Abingdon Road, Westbury, Wiltshire, Wiltshire, SN11 2JH  
T: 01980 246777 E: sales@westworks.co.uk

Westworks  
10-12, Victoria Street, London, EC6A 3DF  
T: 020 7628 2773 E: london@westworks.co.uk

Client Name  
Dominus

Job Title  
65 Fleet Street London

Drawing Title  
Level 10 Planning Plan



Drawn	Checked	Date
EC	RG	02/05/24

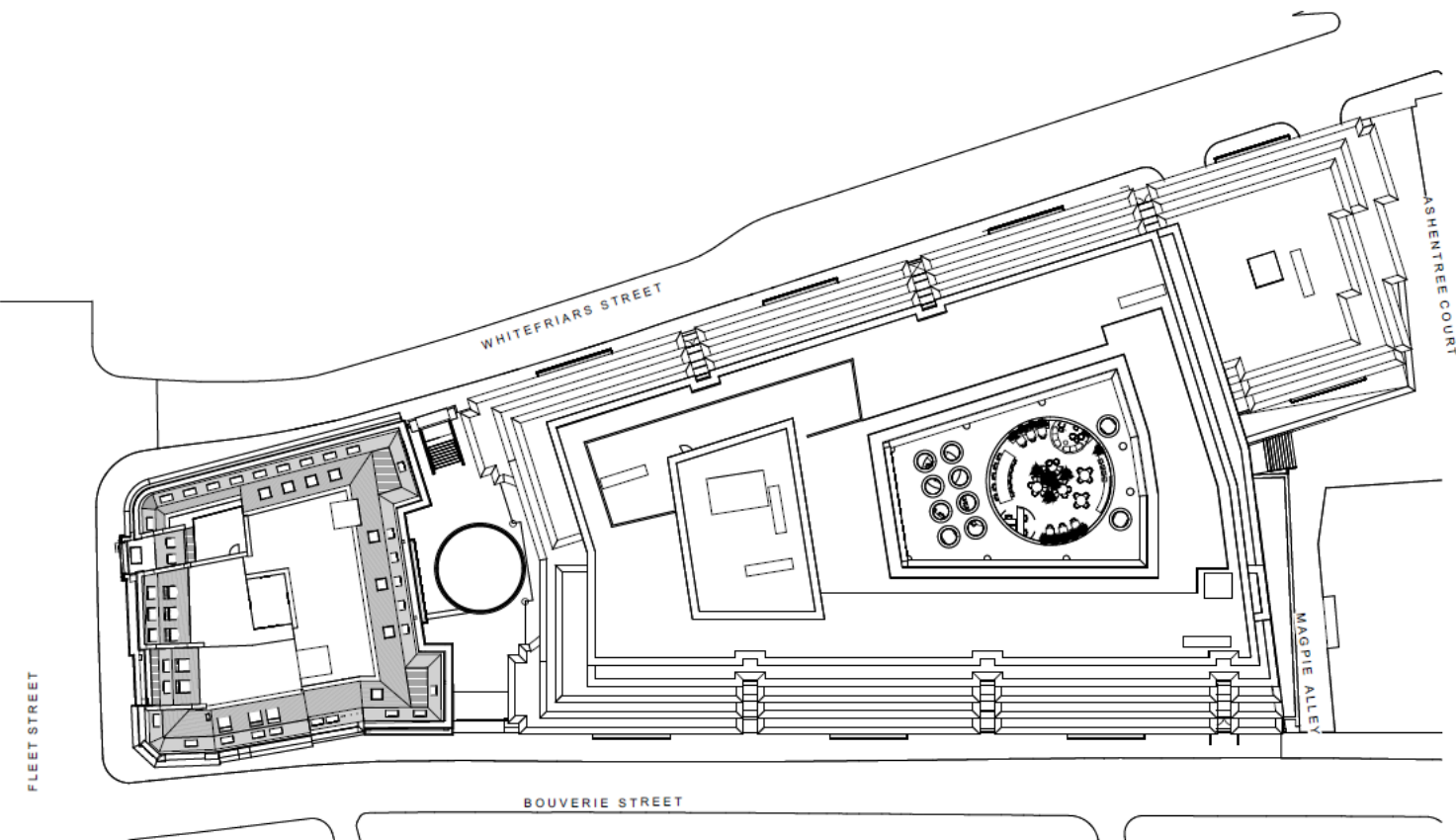
Job No	Origin	Iss	Case	Drawn	Checked	Issue	Scale	Rev
W0863	WW	ZZ	10	DR	A	0212	S2	P11

FOR INFORMATION

001 Not for construction

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POB 21.08.24	Level 10 amendments	CSB RG
POB 20.08.24	Design Development	CSB RG
POB 11.07.24	100% scheme agreed	RG
POB 03.06.24	Draft scheme reviewed	RG
POB 20.05.24	Scheme updated to reflect B011 information and graphics updated to Dominus comments	RG
POB 10.05.24	Design development, and works, archive and internal layout amendments	RG
POB 08.04.24	Consultation on pre-clerk comments	RG RG
POB -	Pre-clerk	-

Rev	Date	Revision Details	By	Chk
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www.westworks.co.uk

Westworks, Warwick, Tower  
Capital Street, Warwick, CV34 4EF  
T 01927 214113 E sales@westworks.co.uk  
Westworks, 100, High Street, Stratford  
West Midlands, B37 1YU  
T 02476 346775 E sales@westworks.co.uk  
Westworks, 75 Great Suffolk Street  
London, EC4Y 1HT  
T 020 7600 0773 E london@westworks.co.uk

Client Name  
Dominus

Job No  
65 Fleet Street London

Drawing Title  
Level RF Planning Plan



Drawn  
EC

Checked  
RG

Date  
02/06/24

Job No	Design	Ver	Level	Type	Rev	Number	Block	Doc
WG653	WW	ZZ	11	DR	A	0213	02	POS

Status  
FOR INFORMATION

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Level RF Proposed Plan



**65 Fleet Street**  
 Illustrative Landscape Plan - Roof Levels  
 8th October 2024 Scale 1:200 @ A1  
 0533 BD6 XX ZZ DR L 0802 P08





Surface Cover Type	Factor	m <sup>2</sup>	sub total
Extensive green roof or vegetation over structure (vegetation can then only substrate minimum settled depth of 100mm - see Background for descriptions)	0.8	106	106.8
Extensive green roof with substrate of minimum settled depth of 100mm for drainage benefits (vegetation limited) - meets the requirements of GB3 Code 2016	0.8	30	18
Roofs for personal planting - see Code for Design 10/11 for details	0.2	0	0
Standard trees planted in individual pits with less than 10 cubic metres soil volume	0.2	85	18.2
Green wall - modular system or climbing coated in soil	0.2	468	104
Groundcover planting	0.5	0	0
Assembly ground (specimen, regularly mown lawn)	0.4	0	0
Extensive Green Roof of rubber mat or other lightweight systems that do not meet GB3 Code 10/11	0.2	0	0
Permeable paving - see GB3 for overview	0.1	0	0
Sealed surfaces (eg concrete, asphalt, waterproofing, etc)	0	0	0
<b>Total</b>			<b>140.5</b>
<b>Site Area</b>			<b>424</b>
<b>Urban Greening Factor Score</b>			<b>0.33</b>

- GENERAL NOTES
1. ALL DIMENSIONS AND LEVELS SHALL BE CHECKED ON SITE PRIOR TO CONSTRUCTION WORK COMMENCING.
  2. ALL LANDSCAPE DIMENSIONS TO BE TAKEN IN CONJUNCTION WITH ALL RELEVANT DIMENSIONS OF THE BUILDING AND STRUCTURES. ALL DIMENSIONS TO BE TAKEN IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT'S DRAWINGS.
  3. ANY DISCREPANCY CONCERNING THE DIMENSIONS SHOULD BE REPORTED TO THE LANDSCAPE ARCHITECT.
  4. ALL DIMENSIONS TO BE TAKEN FROM THE FINISHED GROUND LEVEL UNLESS OTHERWISE SPECIFIED.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION WORK COMMENCING.
  6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION WORK COMMENCING.

NO.	DESCRIPTION	DATE	BY
01	Issue for Approval	10/10/2016	RB
02	Issue for Approval	10/10/2016	RB
03	Issue for Approval	10/10/2016	RB
04	Issue for Approval	10/10/2016	RB
05	Issue for Approval	10/10/2016	RB
06	Issue for Approval	10/10/2016	RB
07	Issue for Approval	10/10/2016	RB
08	Issue for Approval	10/10/2016	RB
09	Issue for Approval	10/10/2016	RB
10	Issue for Approval	10/10/2016	RB

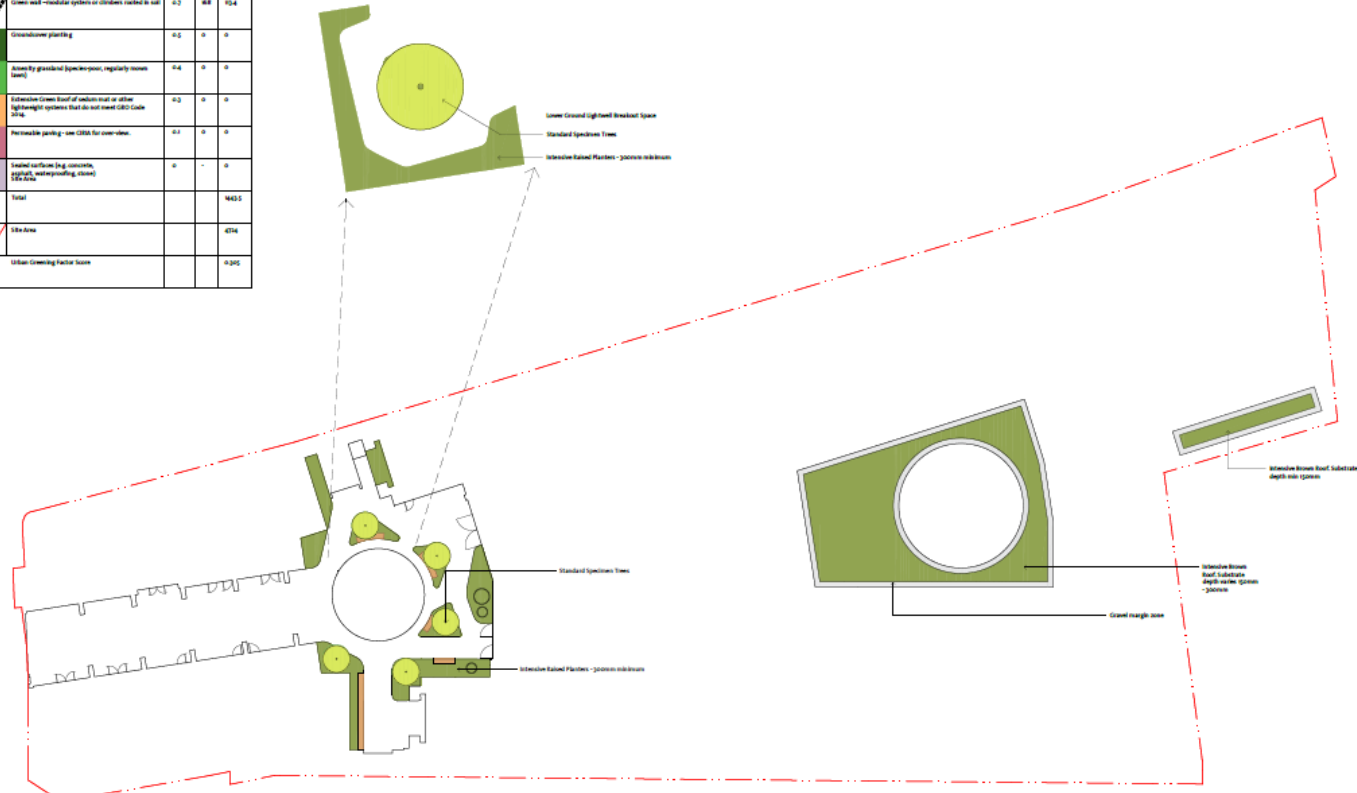
**B** Landscape Architects

100 FLEET STREET  
LONDON EC4Y 1HT

**D** 100 FLEET STREET ARCHITECTS LTD  
100 FLEET STREET  
LONDON EC4Y 1HT

Client: <b>Deutsche Bank Group Limited</b>		
Address: <b>65 Fleet Street</b>		
Title: <b>Urban Greening PBSA Terrace &amp; Brown Roof Systems</b>		
Scale: <b>As Constructed</b>	Drawn: <b>RB</b>	Checked: <b>RB</b>
Author: <b>RB</b>	Date: <b>10/10/2016</b>	Approved: <b>RB</b>
Drawing & Revision Number: <b>0353-BDL-XX-ZZ-DR-L-0804-P07</b>		

Surface Green Type	Factor	sqm	sqm total
Intensive green roof for vegetation over structure, vegetated sections only. 15-40cm minimum soffit depth of green - see landscaping for details	0.8	104	83.2
Extensive green roof with substrate of minimum soffit depth of 10cm for 5cm beneath vegetation (soffit) - meet the requirements of CIBG Code 2016	0.8	10	8
Roof-top personal planting - see Centre for Designed Ecology for details	0.2	0	0
Standard trees planted to individual plots with less than 12 cubic metres soil volume	0.2	70	14
Green wall - modular systems or climbers trained to wall	0.2	68	13.6
Greenhouse planting	0.5	0	0
Greenery provided (specimen trees, regularly mown lawn)	0.4	0	0
Extensive Green Roof of urban roof or other lightweight systems that do not need CIBG Code 2016	0.3	0	0
Permeable paving - see CIBG for details	0.1	0	0
Water features (eg. cascades, rills, waterpools, fountains)	0	0	0
<b>Total</b>			<b>143.4</b>
Site Area			<b>474</b>
<b>Urban Greening Factor Score</b>			<b>0.302</b>



- GENERAL NOTES
1. ALL DIMENSIONS AND LEVELS SHALL BE CHECKED ON SITE PRIOR TO CONSTRUCTION WORK COMMENCING.
  2. ALL DIMENSIONS SHOWN TO BE MEASURED TO FACE UNLESS OTHERWISE SPECIFIED.
  3. ALL DIMENSIONS TO BE MEASURED TO FACE UNLESS OTHERWISE SPECIFIED.
  4. ANY DIMENSIONS CONCERNING THE DRAWINGS SHOULD BE REFERRED TO THE ARCHITECT.
  5. ALL DIMENSIONS TO BE MEASURED TO FACE UNLESS OTHERWISE SPECIFIED.
  6. ALL LEVELS TO BE MEASURED TO FINISH UNLESS OTHERWISE SPECIFIED.
  7. EXISTING BEING AS SHOWN UNLESS OTHERWISE SPECIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WORK COMMENCING.

Rev	Date	Description	By	App'd
1	14/03/2016	Issue for Construction	BD	BD
2	14/03/2016	Issue for Construction	BD	BD
3	14/03/2016	Issue for Construction	BD	BD
4	14/03/2016	Issue for Construction	BD	BD
5	14/03/2016	Issue for Construction	BD	BD
6	14/03/2016	Issue for Construction	BD	BD
7	14/03/2016	Issue for Construction	BD	BD
8	14/03/2016	Issue for Construction	BD	BD
9	14/03/2016	Issue for Construction	BD	BD
10	14/03/2016	Issue for Construction	BD	BD

**B** Landscape Architects

BD  
 65 FLEET STREET LONDON  
 EC4Y 1HT  
 TEL: 020 7463 1000  
 WWW.BDLXX.COM

**D**

CLIENT  
 Dominion Fleet Street Limited

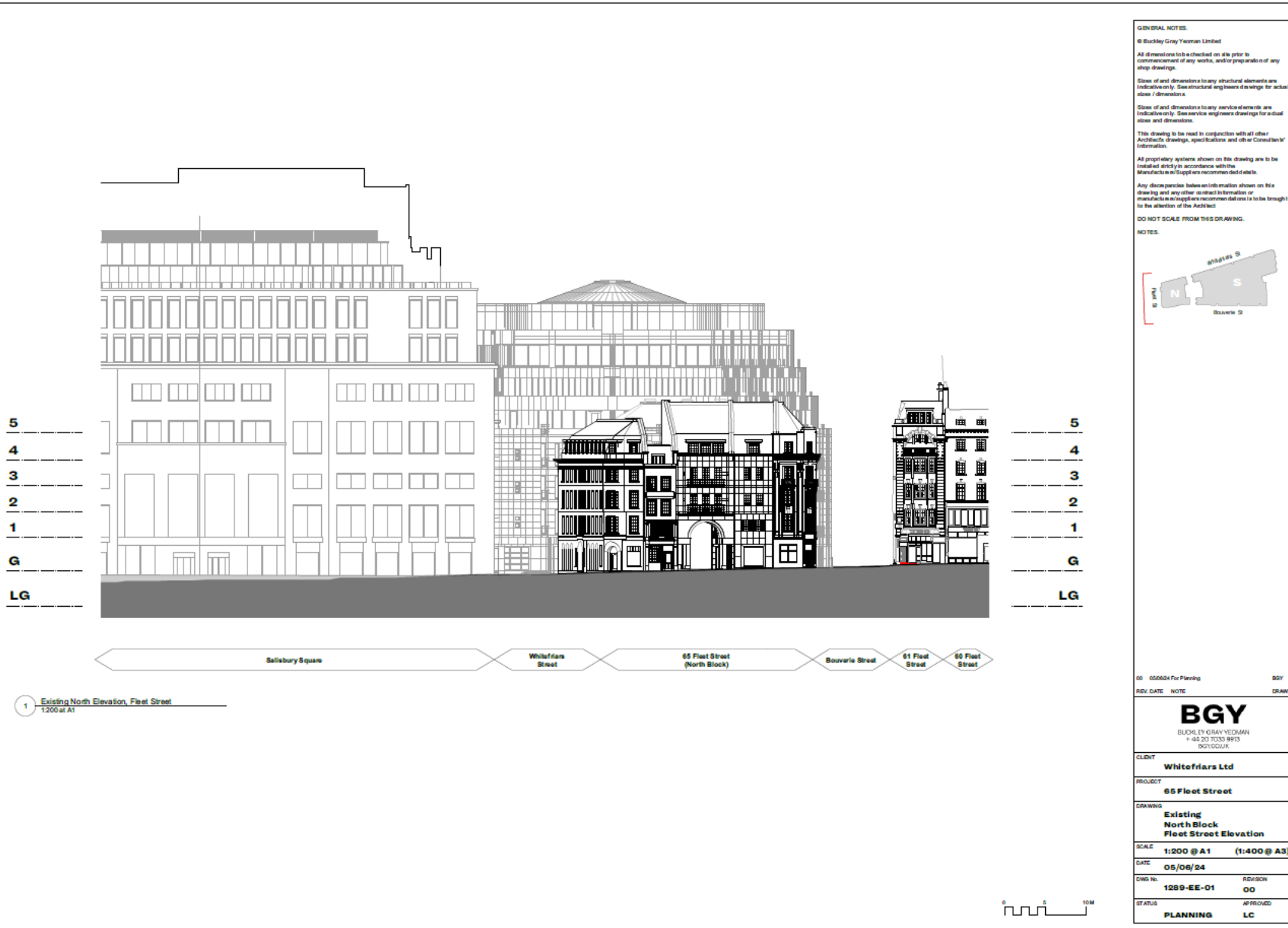
PROJECT  
 65 Fleet Street

TITLE  
 Urban Greening Ground & Lower Ground

Name	Role	Date	Checked
BD	Author	14/03/2016	BD
BD	Checker	14/03/2016	BD
BD	Approver	14/03/2016	BD

Drawing & Revision Number:  
 0353-BDL-XX-ZZ-DR-L-0803-P07





1 Existing North Elevation, Fleet Street  
1:200 at A1

**GENERAL NOTES:**

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Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

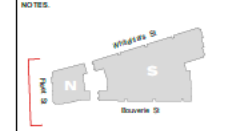
Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for a final sizes and dimensions.

This drawing to be read in conjunction with all other Architects drawings, specifications and other Consultant's information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturer's/Supplier's recommended details.

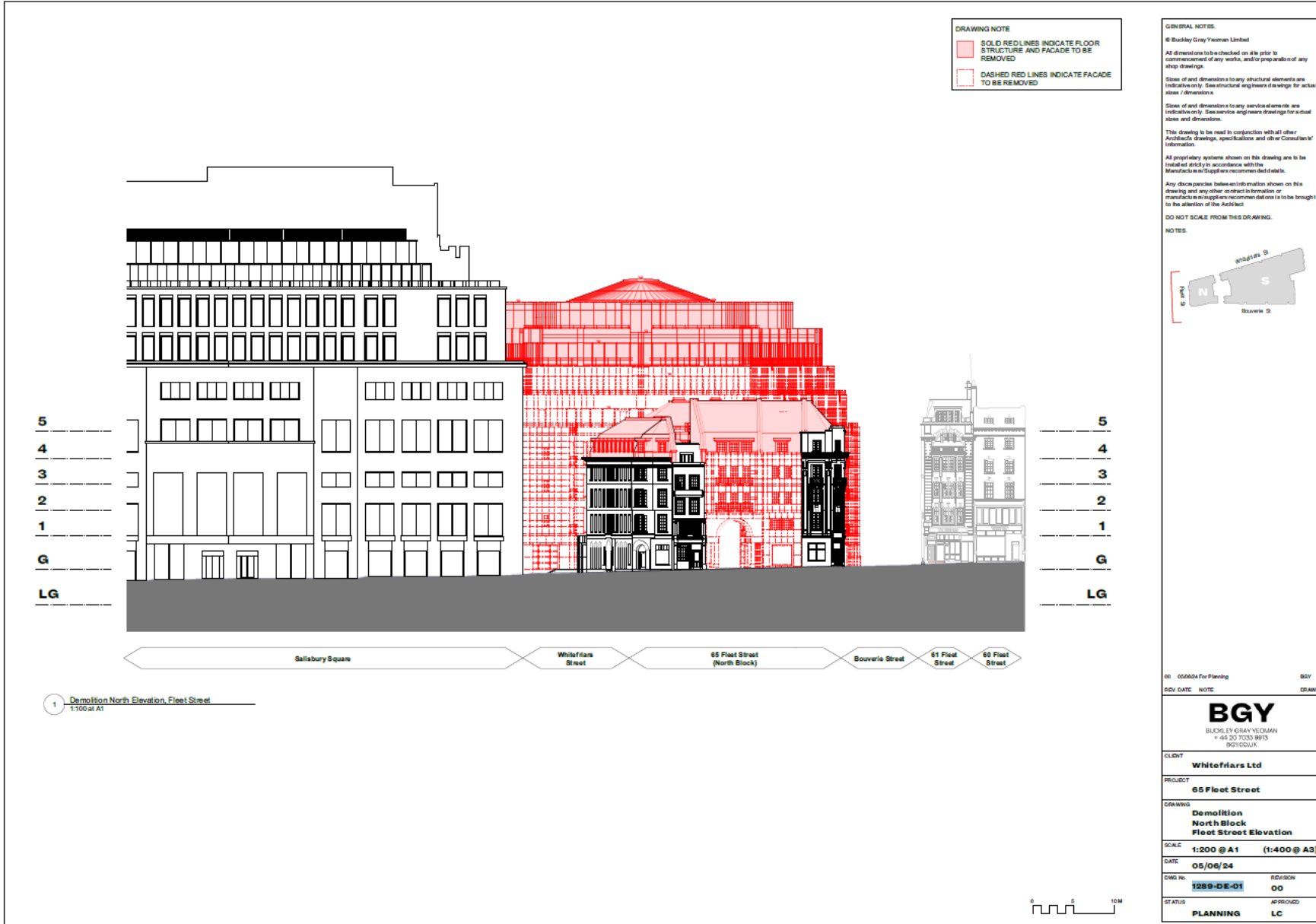
Any discrepancies between information shown on this drawing and any other contract information or Manufacturer's/Supplier's recommendations is to be brought to the attention of the Architect.

**DO NOT SCALE FROM THIS DRAWING.**



00	05/06/24 For Planning	BDY
REV.	DATE	NOTE
<b>BGY</b>		
BUCKLEY GRAY YEOMAN F 44 20 T033 8913 9511024018		
CLIENT	Whitefriars Ltd	
PROJECT	65 Fleet Street	
DRAWING	Existing North Block Fleet Street Elevation	
SCALE	1:200 @ A1 (1:400 @ A3)	
DATE	05/06/24	
DWG No.	1289-EE-01	REV/ISSN
		00
STATUS	APPROVED	
	PLANNING	LC

Existing North Block Fleet Street Elevation



Demolition North Block Fleet Street Elevation



**GENERAL NOTES**

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Sizes of and dimension s to any structural elements are indicative only. See structural engineers drawings for actual sizes and dimension s.

Sizes of and dimension s to any service elements are indicative only. See service engineers drawings for actual sizes and dimension s.

This drawing to be read in conjunction with all other Architects drawings, specifications and other Consultant's information.

All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturer's/Supplier's recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturer's/supplier's recommendations is to be brought to the attention of the Architect.

**DO NOT SCALE FROM THIS DRAWING.**

**NOTES**

00	15/06/24 ACD levels updated	BDY
01	05/06/24 General Amendments for Planning Material plans updated Mill on adjacent to river. Double on added to schedule Level 10 added to site. Levels 8, 9 and 10 cladding amended. Roof level location amended. Gates to courtyard added.	BDY
REV.	DATE	NOTE
		DRAWN

**BGY**  
BUCKLEY GRAY YEOMAN  
+44 20 7033 9913  
69/10/00/00/00

CLIENT	Whitefriars Ltd
PROJECT	65 Fleet Street
DRAWING	Proposed North Block Fleet Street Elevation
SCALE	1:200 @ A1 (1:400 @ A3)
DATE	05/06/24
DWG No.	1289-GE-01
STATUS	PLANNING
REVISED BY	BDY
APPROVED BY	LC

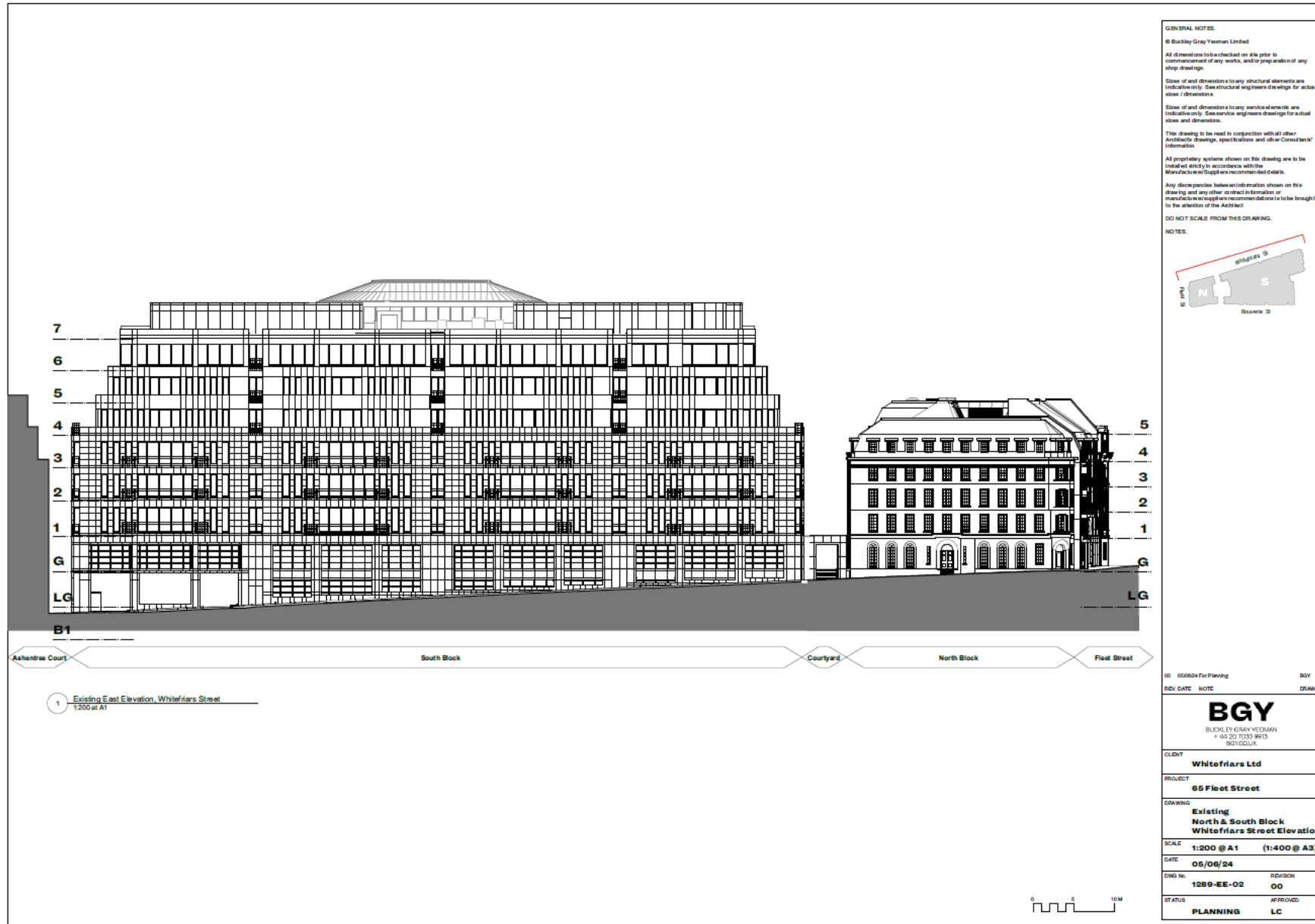
1 Proposed North Elevation, Fleet Street  
1:200 at A1

**FINISHES KEY**

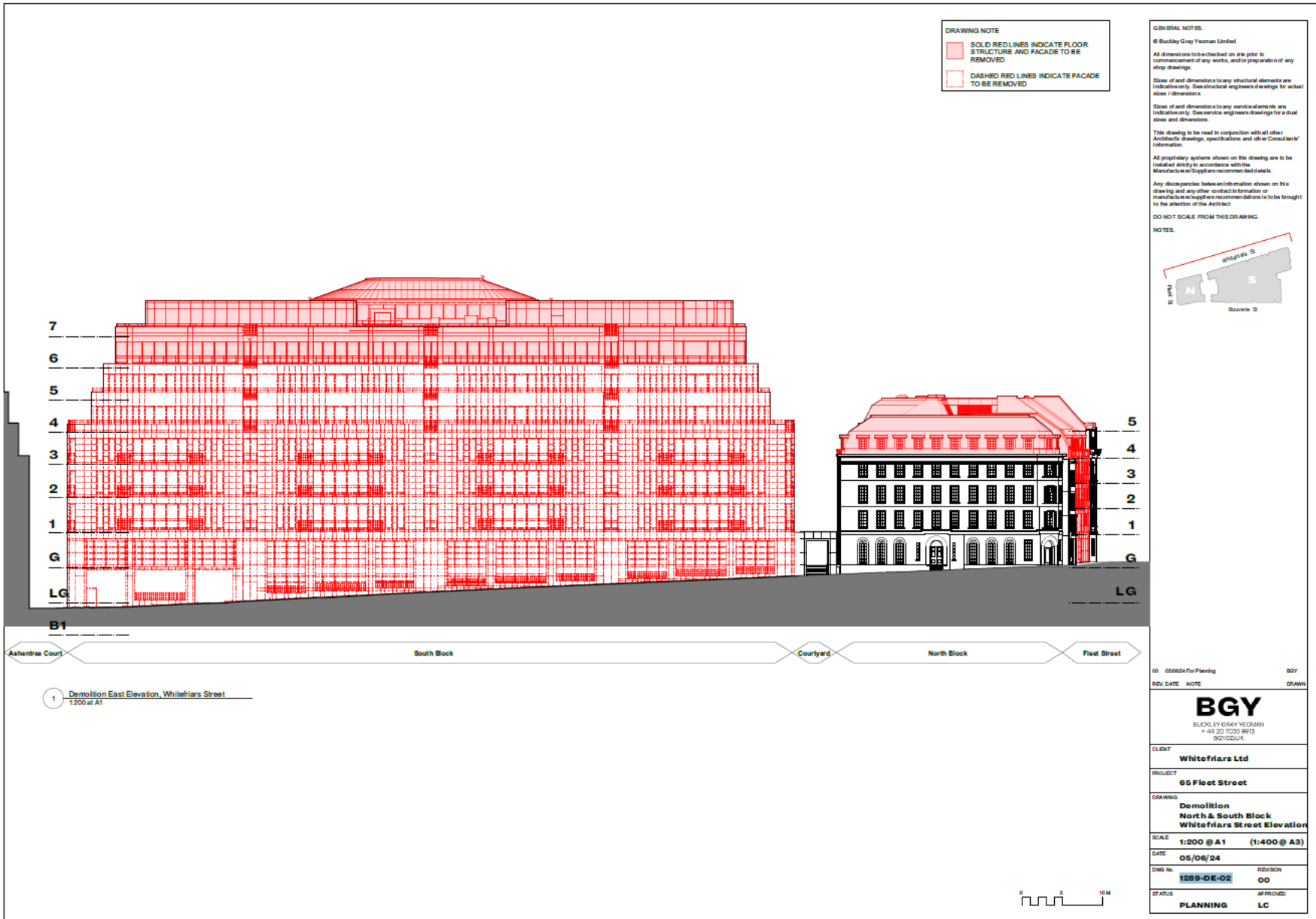
- ① Retained Facade
- ② Reclaimed Granite from Main Body
- ③ Light GRC in Portland Tone and Texture
- ④ Large Format Faience Panels in Muted Green
- ⑤ Clay Heritage Roof Tiles
- ⑥ Light Green Slate Tiles
- ⑦ Dark Green Slate Tiles
- ⑧ Portland Stone Cladding/ Capping/ Coping
- ⑨ GRC/ Masonry Coping in Portland Tone & Texture
- ⑩ Refurbished Windows, all to Match Existing

- ⑪ New thermally broken slim profile metal windows, all to match existing, dark anodic PPC to N block + top 3 floors of S block, light anodic PPC to main body of S block.
- ⑫ New Hardwood Windows, all to Match Existing
- ⑬ New Lead Dormer Windows, material and profiles in line with windows below.
- ⑭ PPC Metal Railing in Anodic finish to match relevant adjacent fenestration
- ⑮ Pre-patinated Metal Cladding, hues of Grey-Green, incrementally lightening from L08 to L10
- ⑯ Low Iron Glass Screen
- ⑰ Louvred Panels to Match Respective Fenestration
- ⑱ Fluted Masonry in Portland Stone Finish
- ⑲ Metal Fascias Powder Coated in Anodic Tone to Match Cladding
- ⑳ Metal Gate

## Proposed North Block Fleet Street Elevation



Existing North and South Block Whitefriars Street Elevation



Demolition North & South Block Whitefriars Street Elevation

**1** Proposed East Elevation, Whitefriars Street  
1:200 @ A1

**FINISHES KEY**

<p>1 Retained Facade</p> <p>2 Reclaimed Granite from Main Body</p> <p>3 Light GRC in Portland Tone and Texture</p> <p>4 Large Format Faience Panels in Muted Green</p> <p>5 Clay Heritage Roof Tiles</p> <p>6 Light Green Slate Tiles</p> <p>7 Dark Green Slate Tiles</p> <p>8 Portland Stone Cladding/ Capping/ Coping</p> <p>9 GRC/ Masonry Coping in Portland Tone &amp; Texture</p> <p>10 Refurbished Windows, all to Match Existing</p>	<p>11 New thermally broken slim profile metal windows, all to match existing, dark anodic PPC to N block + top 3 floors of S block, light anodic PPC to main body of S block.</p> <p>12 New Hardwood Windows, all to Match Existing</p> <p>13 New Lead Dormer Windows, material and profiles in line with windows below.</p> <p>14 PPC Metal Railing in Anodic finish to match relevant adjacent fenestration</p> <p>15 Pre-patinated Metal Cladding, hues of Grey-Green, incrementally lightening from L08 to L10</p> <p>16 Low Iron Glass Screen</p> <p>17 Louvred Panels to Match Respective Fenestration</p> <p>18 Fluted Masonry in Portland Stone Finish</p> <p>19 Metal Fascias Powder Coated in Anodic Tone to Match Cladding</p> <p>20 Metal Gate</p>
--	--

**GENERAL NOTES:**

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All dimensions to be checked on site prior to commencement of any work, and/or preparation of any shop drawings.

Size of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual size / dimensions.

Size of and dimensions to any service elements are indicative only. See service engineers drawings for actual size and dimensions.

This drawing to be read in conjunction with all other Architectural drawings, specifications and other Consultant information.

All proprietary systems shown on this drawing are to be installed exactly in accordance with the Manufacturer/Supplier recommended details.

Any discrepancies between information shown on this drawing and any other contract information or in manufacturer/supplier recommendations is to be brought to the attention of the Architect.

DO NOT SCALE FROM THIS DRAWING.

**NOTES:**

05 1511014 ACC Work up/down  
South Block: Brown or polished  
North Block: polished  
BGY

01 1511012 General Information for Planning  
Metal: polished  
Metal: dark or white  
Material added to separate  
Level: 1511012  
Level: 1511013 and 1511014 generated  
Material: metal: polished  
Data: to be confirmed  
BGY

06 1511014 Rev Planning  
BGY

REV	DATE	NOTE	DRAWN

**BGY**  
BUCKLEY GRAY YEOMAN  
+44 20 7003 9913  
BGC/COL/UK

CLIENT: **Whitefriars Ltd**

PROJECT: **65 Fleet Street**

DRAWING: **Proposed North & South Block Whitefriars Street Elevation**

SCALE: 1:200 @ A1 (1:400 @ A3)

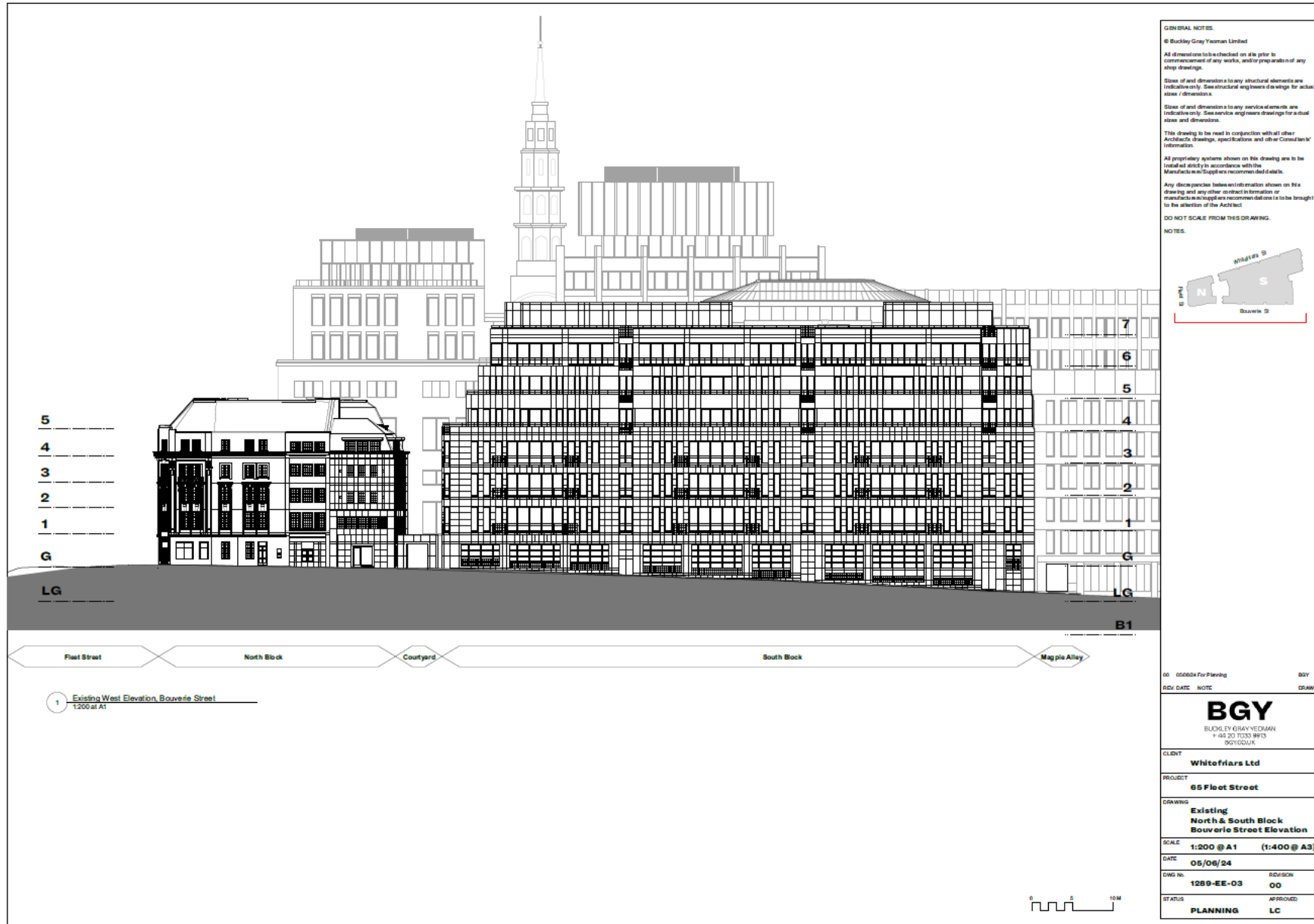
DATE: 08/06/24

DWG NO: 1288-OE-02

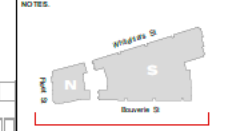
REVISION: 02

STATUS: **PLANNING** APPROVED: **LC**

Proposed North and South Block Whitefriars Street Elevation



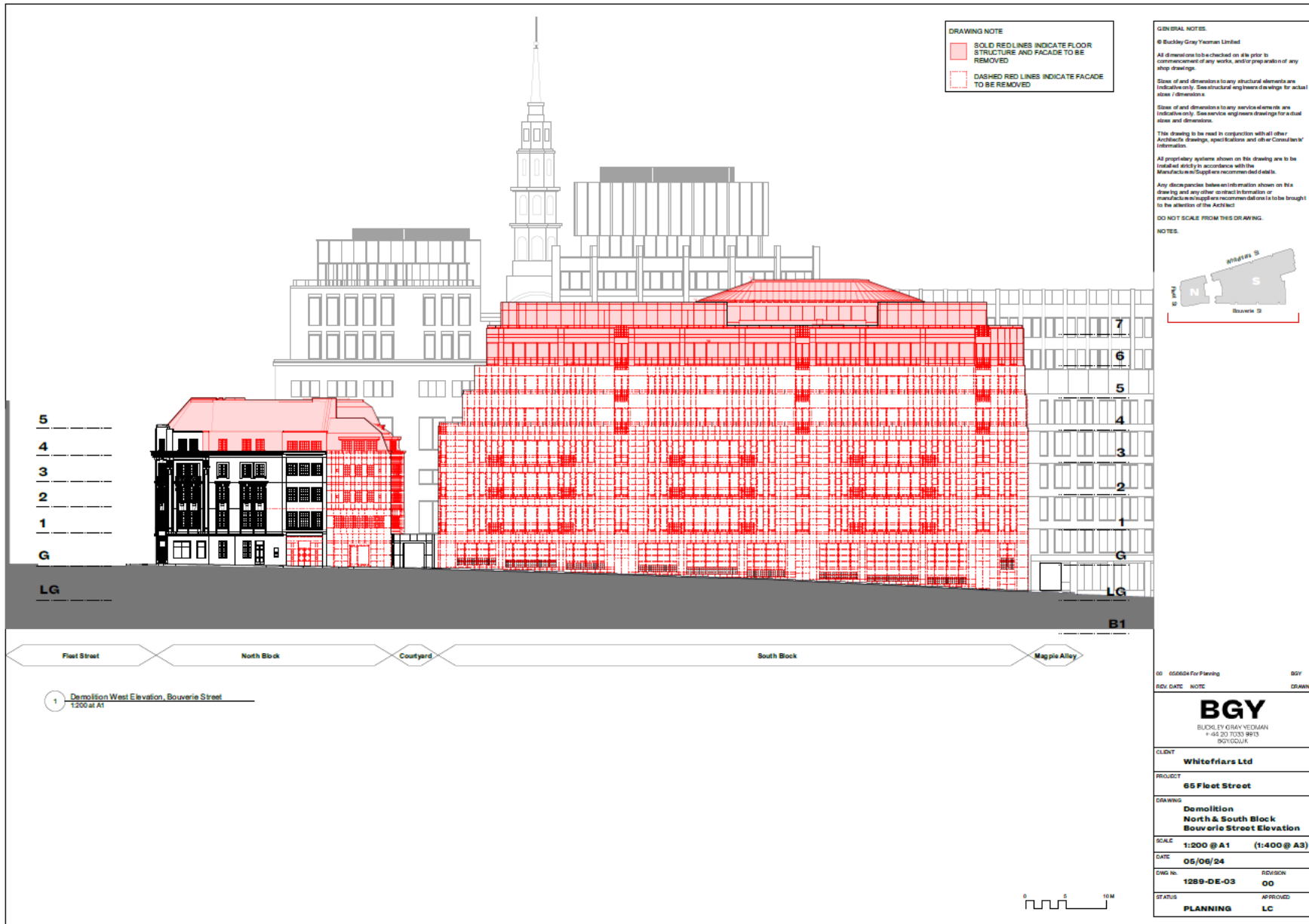
**GENERAL NOTES:**  
 © Buckley Gray Yeoman Limited  
 All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.  
 Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.  
 Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.  
 This drawing to be read in conjunction with all other Architects drawings, specifications and other Consultant's information.  
 All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers or Suppliers recommended details.  
 Any discrepancies between information shown on this drawing and any other contract information or manufacturer's or supplier's recommendations is to be brought to the attention of the Architect.  
**DO NOT SCALE FROM THIS DRAWING.**



1 Existing West Elevation, Bouverie Street  
 1:200 at A1

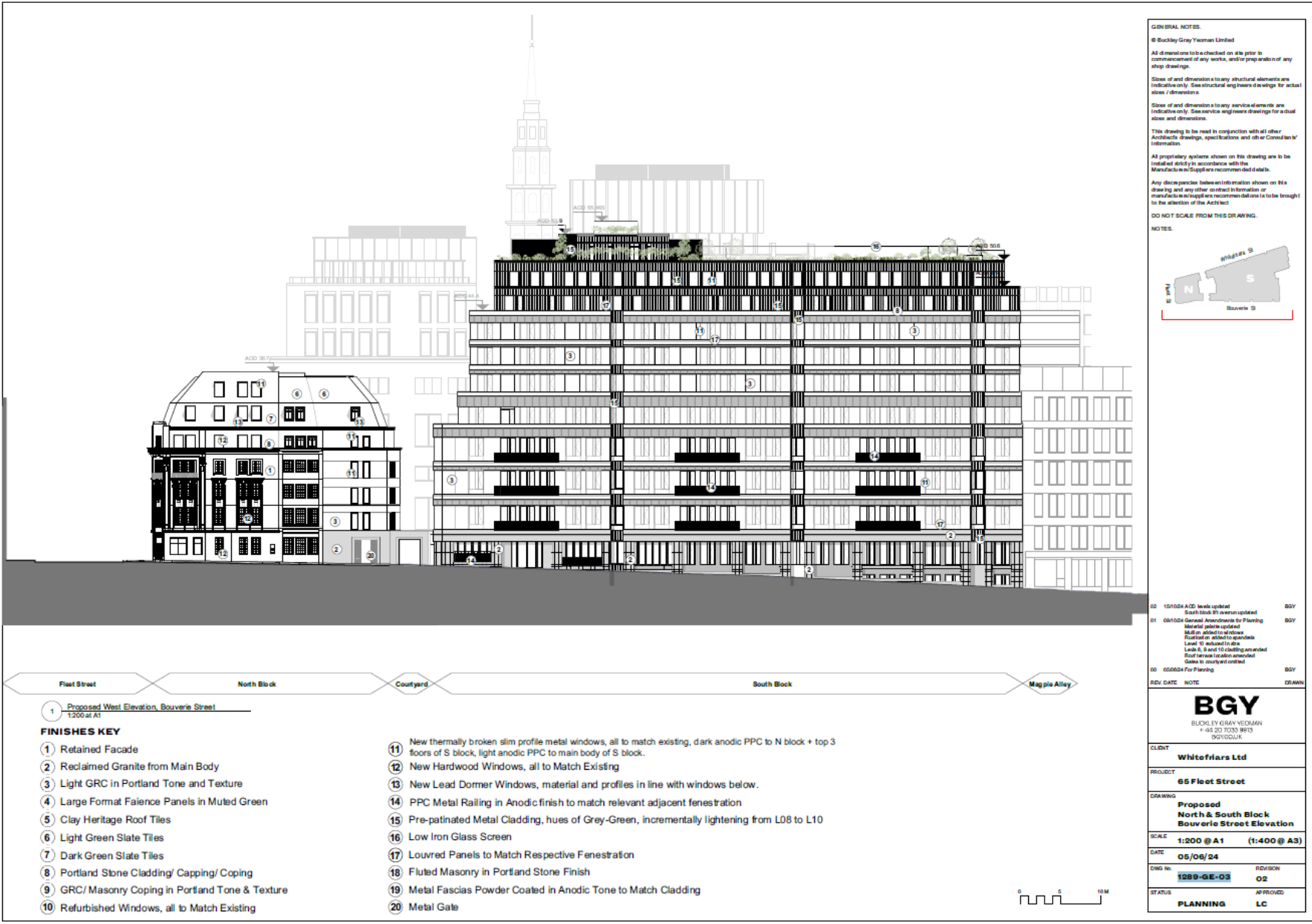
00	05/06/24 For Planning	BDY
REV.	DATE	NOTE
<b>BGY</b>		
BUCKLEY GRAY YEOMAN 145 20 FLEET STREET LONDON EC4Y 1HT		
CLIENT	Whitefriars Ltd	
PROJECT	65 Fleet Street	
DRAWING	Existing North & South Block Bouverie Street Elevation	
SCALE	1:200 @ A1 (1:400 @ A3)	
DATE	05/06/24	
DWG No.	1289-EE-03	REV/SKCH
STATUS	PLANNING	APPROVED
		LC

Existing North & South Block Bouverie Street Elevation



Demolition North & South Block Bouverie Street Elevation

# 65 Fleet Street, London, EC4Y 1HT



1 Proposed West Elevation, Bouverie Street 1:200 at A1

**FINISHES KEY**

- 1 Retained Facade
- 2 Reclaimed Granite from Main Body
- 3 Light GRC in Portland Tone and Texture
- 4 Large Format Faience Panels in Muted Green
- 5 Clay Heritage Roof Tiles
- 6 Light Green Slate Tiles
- 7 Dark Green Slate Tiles
- 8 Portland Stone Cladding/ Capping/ Coping
- 9 GRC/ Masonry Coping in Portland Tone & Texture
- 10 Refurbished Windows, all to Match Existing

- 11 New thermally broken slim profile metal windows, all to match existing, dark anodic PPC to N block + top 3 floors of S block, light anodic PPC to main body of S block.
- 12 New Hardwood Windows, all to Match Existing
- 13 New Lead Dormer Windows, material and profiles in line with windows below.
- 14 PPC Metal Railing in Anodic finish to match relevant adjacent fenestration
- 15 Pre-patinated Metal Cladding, hues of Grey-Green, incrementally lightening from L08 to L10
- 16 Low Iron Glass Screen
- 17 Louvred Panels to Match Respective Fenestration
- 18 Fluted Masonry in Portland Stone Finish
- 19 Metal Fascias Powder Coated in Anodic Tone to Match Cladding
- 20 Metal Gate

**GENERAL NOTES**

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All dimensions to be checked on site prior to commencement of any works, and/or preparation of any shop drawings.

Sizes of and dimensions to any structural elements are indicative only. See structural engineers drawings for actual sizes / dimensions.

Sizes of and dimensions to any service elements are indicative only. See service engineers drawings for actual sizes and dimensions.

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All proprietary systems shown on this drawing are to be installed strictly in accordance with the Manufacturers/Suppliers recommended details.

Any discrepancies between information shown on this drawing and any other contract information or manufacturer's suppliers recommendations to be brought to the attention of the Architect.

**DO NOT SCALE FROM THIS DRAWING.**



02	15/10/24 ACD Levels updated	BOY	
	South Block 8/1 revision updated		
01	05/10/24 General Amendments to Planning	BOY	
	Masonry panels updated		
	Mullion added to windows		
	Fluted masonry added to quoins		
	Level 10 added to data		
	Levels 8, 9 and 10 cladding amended		
	Roof terrace location amended		
00	05/06/24 For Planning	BOY	
REV	DATE	NOTE	DRAWN

**BGY**  
BUCKLEY GRAY YEOMAN  
+44 (0) 2033 9973  
90YV000UK

**CLIENT**  
Whitefriars Ltd

**PROJECT**  
65 Fleet Street

**DRAWING**  
Proposed  
North & South Block  
Bouverie Street Elevation

**SCALE**  
1:200 @ A1 (1:400 @ A3)

**DATE**  
05/06/24

**DWG No.**  
1289-GE-03

**REVISION**  
O2

**STATUS**  
APPROVED

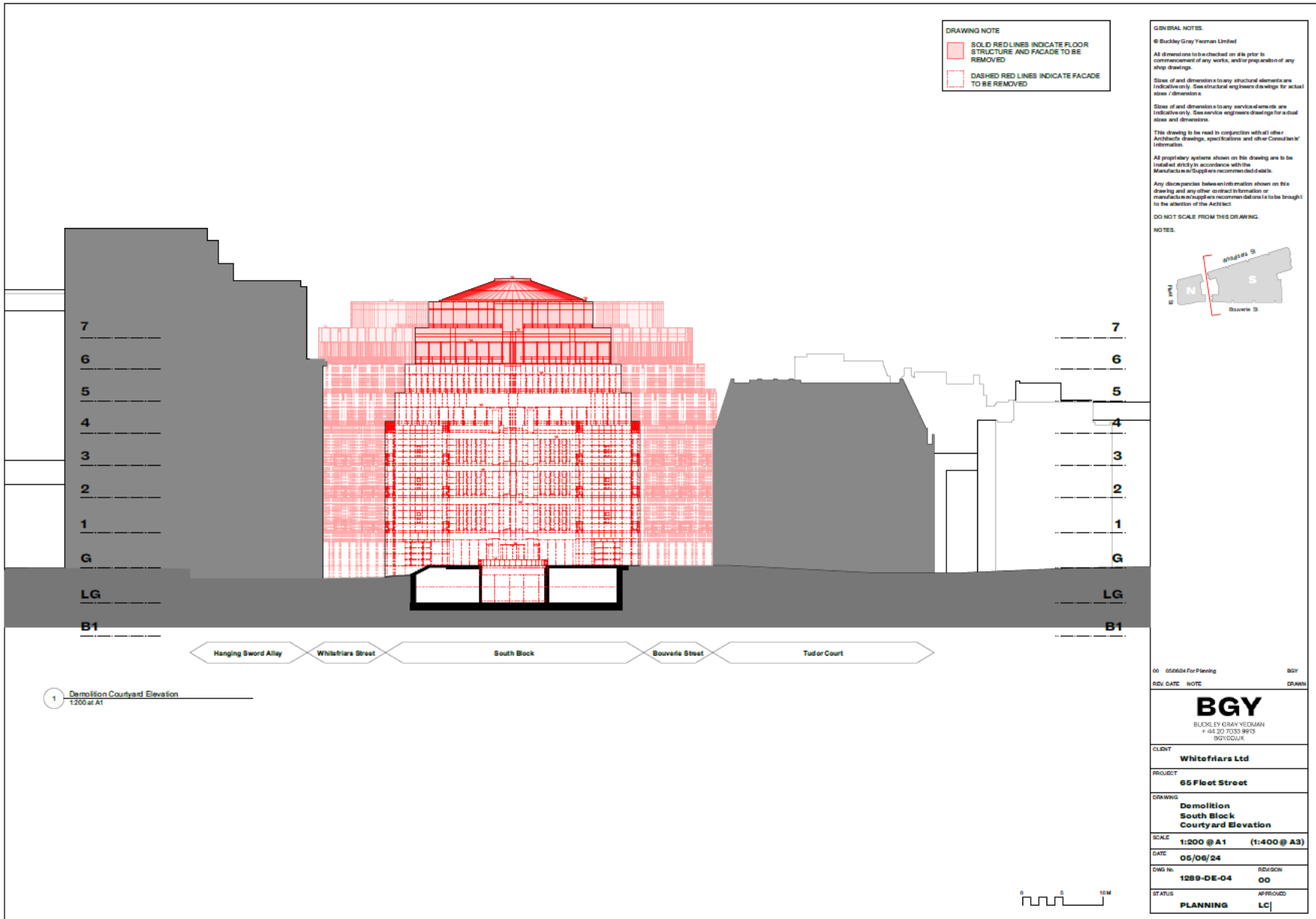
**PLANNING**  
LC





Existing South Block Courtyard Elevation





Demolition South Block Courtyard Elevation

**GENERAL NOTES:**

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Size of and dimensions to any service elements are indicative only. See service engineers drawings for a dual size and dimensions.

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Any discrepancies between information shown on this drawing and any other contract information or manufacturer's/supplier recommendations is to be brought to the attention of the Architect.

**DO NOT SCALE FROM THIS DRAWING.**

**NOTES:**

05 15/10/24 ACC levels updated  
South block 3D views updated  
BGY

01 08/10/24 General Amendments for Planning  
Material palette updated  
Mullion added to all windows  
Roof terrace added to ground  
Level 10 added in site  
Level 8, 9 and 10 cladding amended  
Roof terrace location amended  
Gate to courtyard added  
BGY

REV. DATE NOTE DRAWN

<b>BGY</b>	
BUCKLEY GRAY YEOMAN F 44 20 7033 9970 BGY@GURK	
CLIENT	Whitefriars Ltd
PROJECT	65 Fleet Street
DRAWING	Proposed South Block Courtyard Elevation
SCALE	1:200 @ A1 (1:400 @ A3)
DATE	05/08/24
DWG NO.	1289-GE-04
STATUS	PLANNING
APPROVED:	LC

**FINISHES KEY**

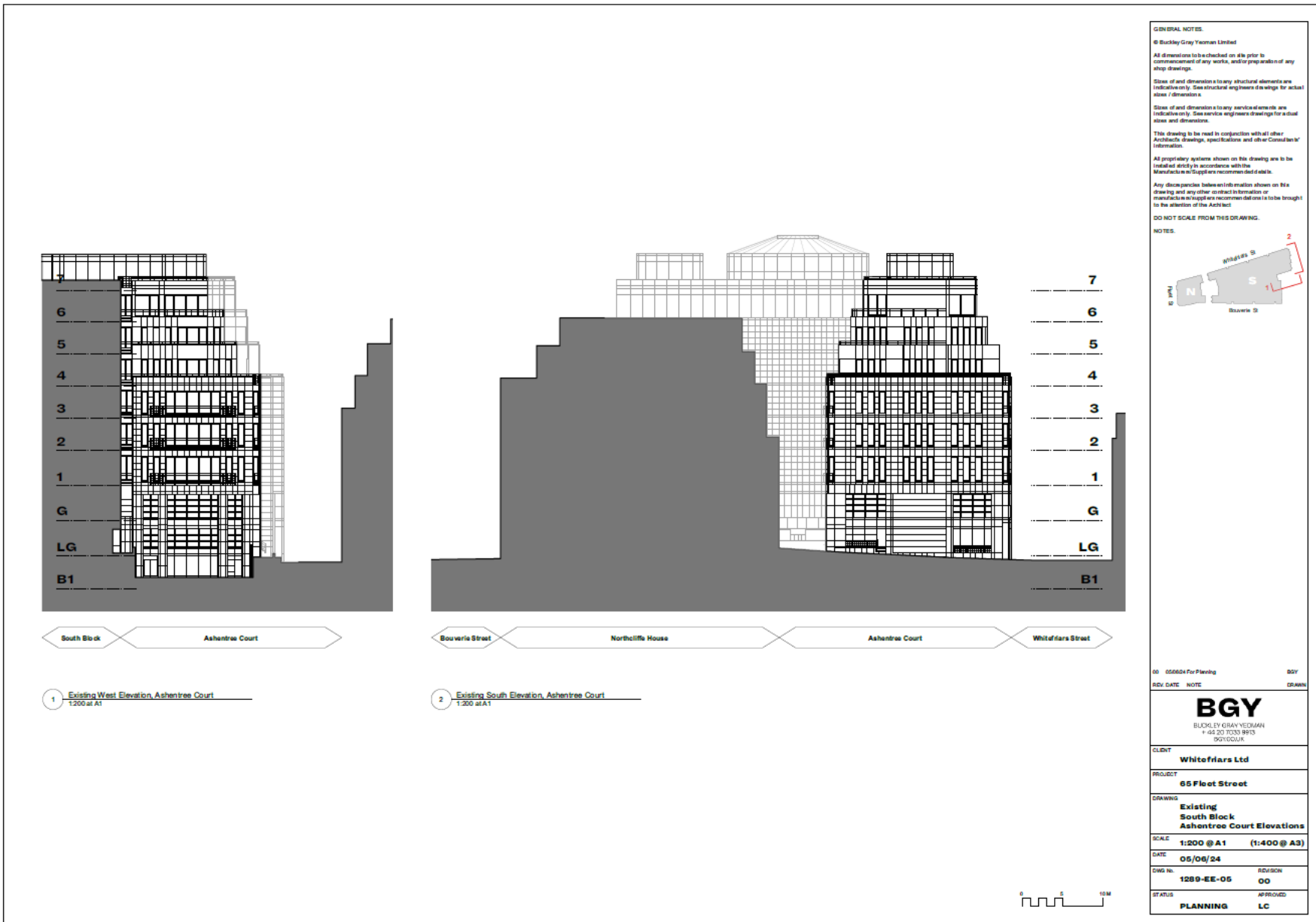
1 Proposed Courtyard Elevation  
1:200 at A1

- 1 Retained Facade
- 2 Reclaimed Granite from Main Body
- 3 Light GRC in Portland Tone and Texture
- 4 Large Format Faience Panels in Muted Green
- 5 Clay Heritage Roof Tiles
- 6 Light Green Slate Tiles
- 7 Dark Green Slate Tiles
- 8 Portland Stone Cladding/ Capping/ Coping
- 9 GRC/ Masonry Coping in Portland Tone & Texture
- 10 Refurbished Windows, all to Match Existing
- 11 New thermally broken slim profile metal windows, all to match existing, dark anodic PPC to N block + top 3 floors of S block, light anodic PPC to main body of S block.
- 12 New Hardwood Windows, all to Match Existing
- 13 New Lead Dormer Windows, material and profiles in line with windows below.
- 14 PPC Metal Railing in Anodic finish to match relevant adjacent fenestration
- 15 Pre-patinated Metal Cladding, hues of Grey-Green, incrementally lightening from L08 to L10
- 16 Low Iron Glass Screen
- 17 Louvred Panels to Match Respective Fenestration
- 18 Fluted Masonry in Portland Stone Finish
- 19 Metal Fascias Powder Coated in Anodic Tone to Match Cladding
- 20 Metal Gate

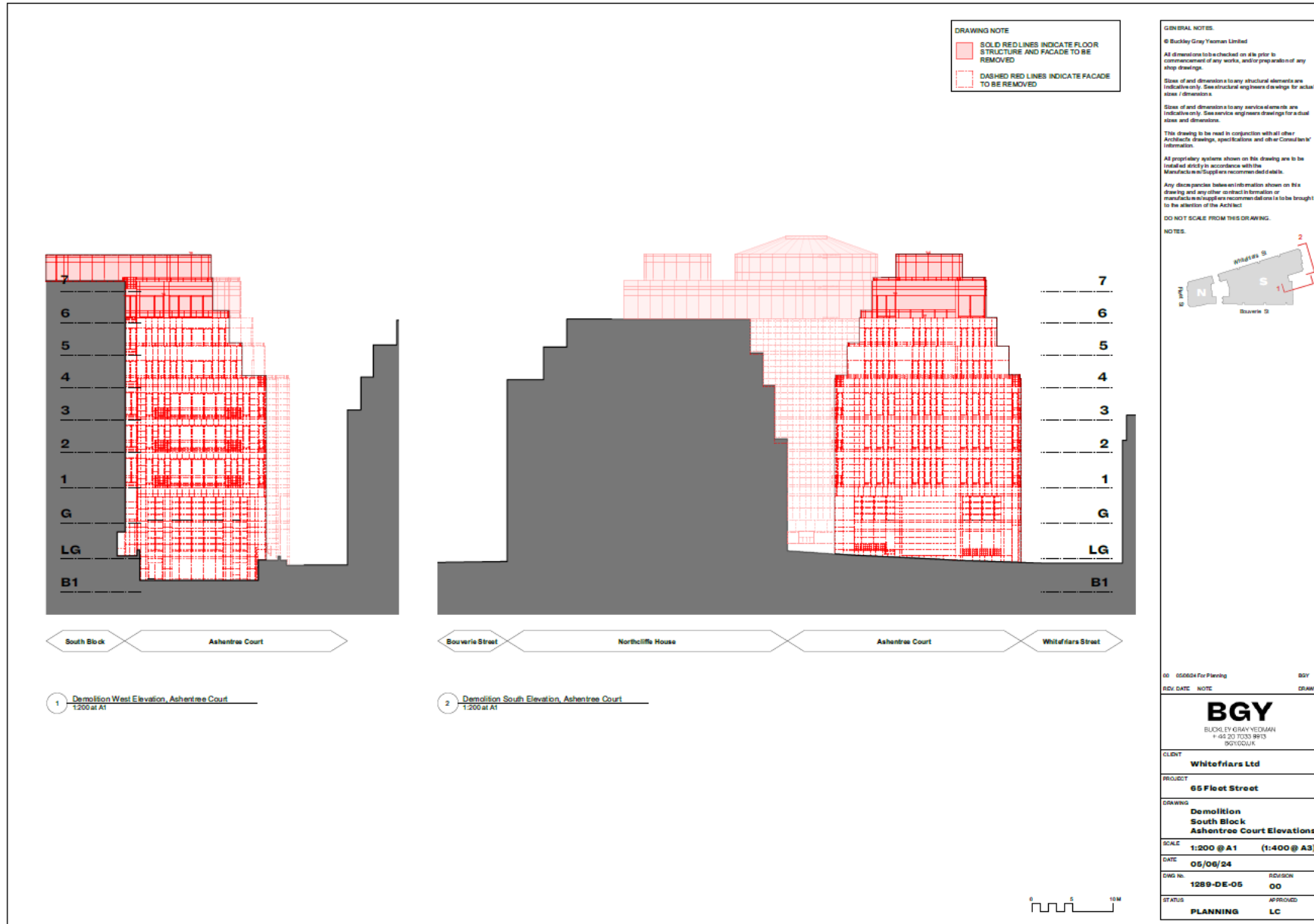
Salisbury Square Whitefriars Street South Block Bourne Street Tudor Court

0 5 10M

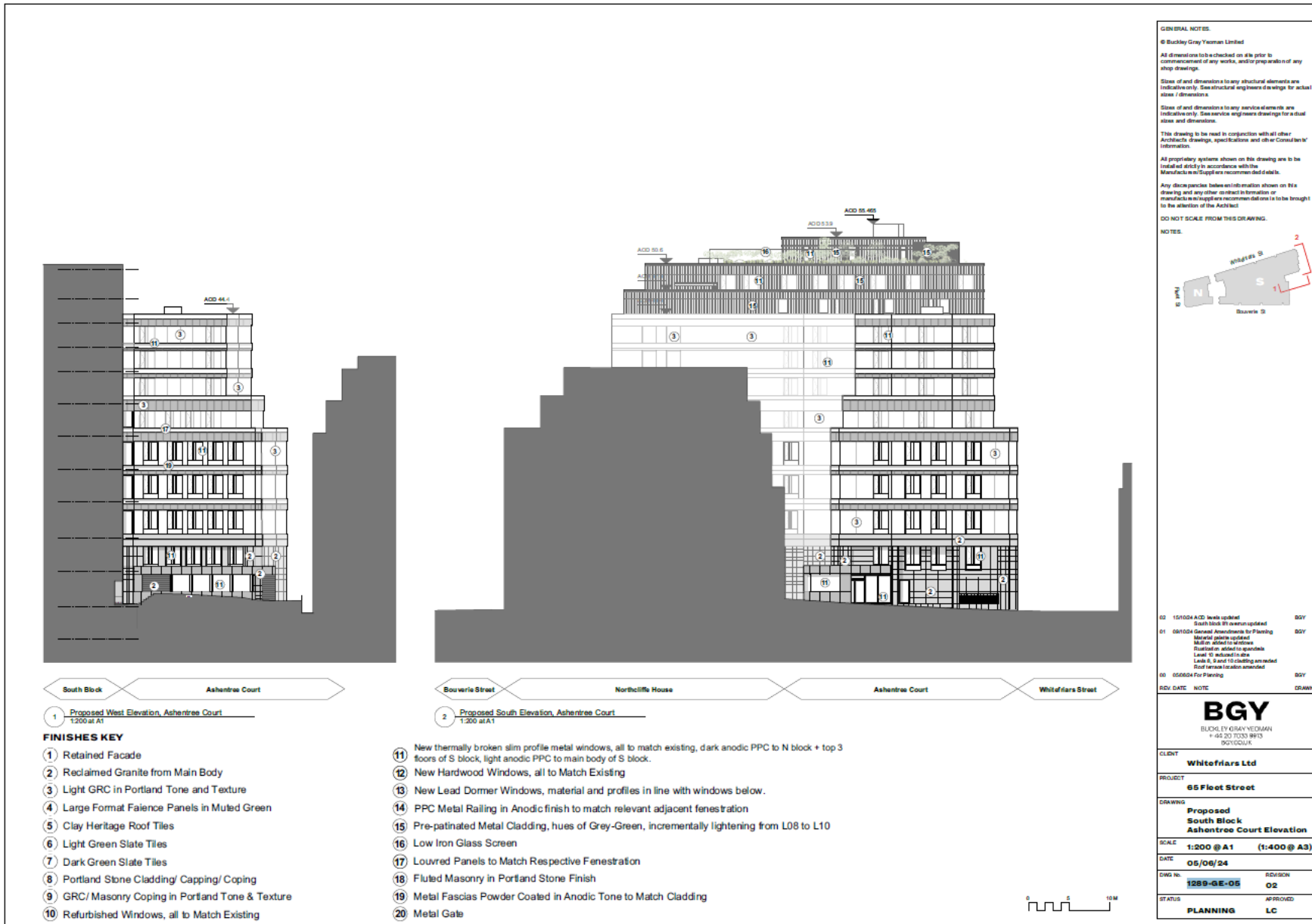
## Proposed South Block Courtyard Elevation



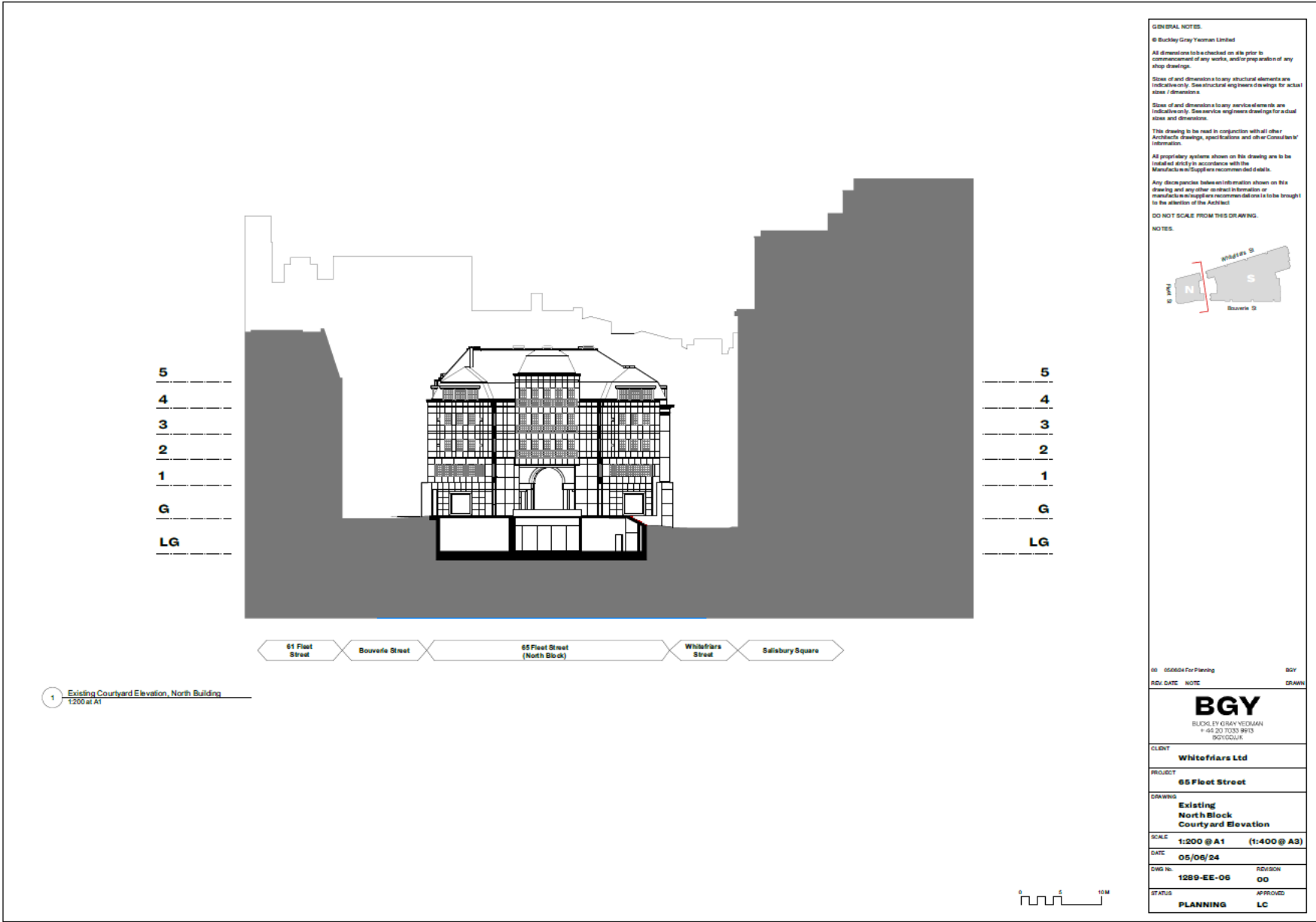
Existing South Block Ashentree Court Elevations



Demolition South Block Ashentree Court Elevations



Proposed South Block Ashentree Court Elevation



**GENERAL NOTES:**

© Buckley Gray Yeaman Limited

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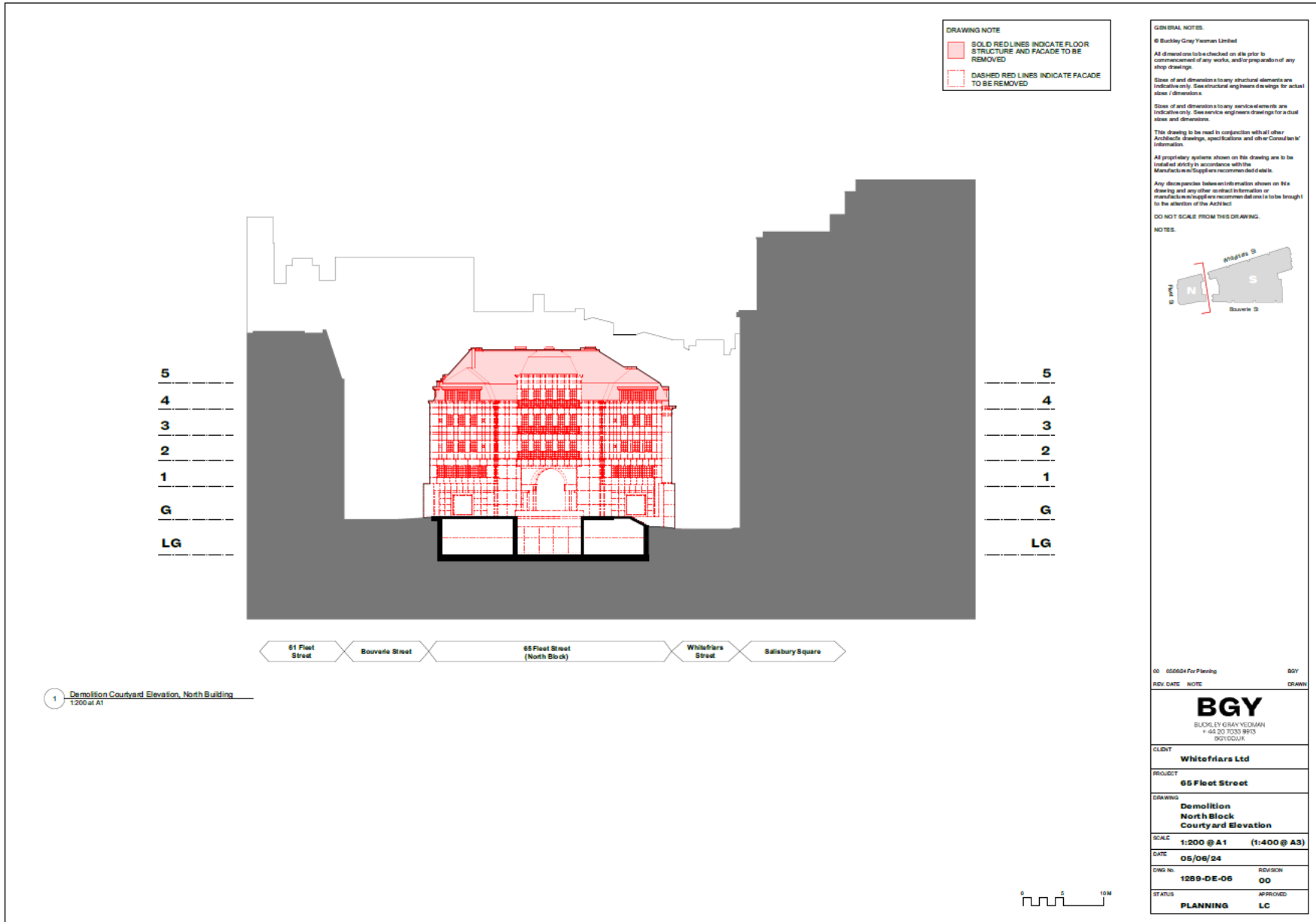
Any discrepancies between information shown on this drawing and any other contract information or manufacturer or supplier recommendations to be brought to the attention of the Architect.

DO NOT SCALE FROM THIS DRAWING.



NO	05/06/24 For Planning	BGY
REV.	DATE	NOTE
<b>BGY</b>		
BUCKLEY GRAY YEAMAN +44 20 7033 8913 BDO/DC/AR		
CLIENT	Whitefriars Ltd	
PROJECT	65 Fleet Street	
DRAWING	Existing North Block Courtyard Elevation	
SCALE	1:200 @ A1    (1:400 @ A3)	
DATE	05/06/24	
DWG No.	1289-EE-06	REV/ISSN 00
STATUS	PLANNING	APPROVED LC

Existing North Block Courtyard Elevation



1 Demolition Courtyard Elevation, North Building  
1:200 at A1

Demolition North Block Courtyard Elevation

**1** Proposed Courtyard Elevation, North Building  
1:200 at A1

**FINISHES KEY**

- ① Retained Facade
- ② Reclaimed Granite from Main Body
- ③ Light GRC in Portland Tone and Texture
- ④ Large Format Faience Panels in Muted Green
- ⑤ Clay Heritage Roof Tiles
- ⑥ Light Green Slate Tiles
- ⑦ Dark Green Slate Tiles
- ⑧ Portland Stone Cladding/ Capping/ Coping
- ⑨ GRC/ Masonry Coping in Portland Tone & Texture
- ⑩ Refurbished Windows, all to Match Existing
- ⑪ New thermally broken slim profile metal windows, all to match existing, dark anodic PPC to N block + top 3 floors of S block, light anodic PPC to main body of S block.
- ⑫ New Hardwood Windows, all to Match Existing
- ⑬ New Lead Dormer Windows, material and profiles in line with windows below.
- ⑭ PPC Metal Railing in Anodic finish to match relevant adjacent fenestration
- ⑮ Pre-patinated Metal Cladding, hues of Grey-Green, incrementally lightening from L08 to L10
- ⑯ Low Iron Glass Screen
- ⑰ Louvred Panels to Match Respective Fenestration
- ⑱ Fluted Masonry in Portland Stone Finish
- ⑲ Metal Fascias Powder Coated in Anodic Tone to Match Cladding
- ⑳ Metal Gate

**GENERAL NOTES**

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DO NOT SCALE FROM THIS DRAWING.

**NOTES**

02 15/05/24 A12 Levels updated BOY  
01 15/05/24 General Amendments for Planning Material palette updated BOY  
Gate to courtyard added Gate to courtyard added

REV	DATE	NOTE	DRAWN

**BGY**  
BUCKLEY GRAY YEOMAN  
+44 (0)20 7333 8933  
0201200100

**CLIENT**  
Whitefriars Ltd

**PROJECT**  
65 Fleet Street

**DRAWING**  
Proposed North Block Courtyard Elevation

**SCALE**  
1:200 @ A1 (1:400 @ A3)

**DATE**  
05/06/24

**DWG NO.**  
1289-GE-06

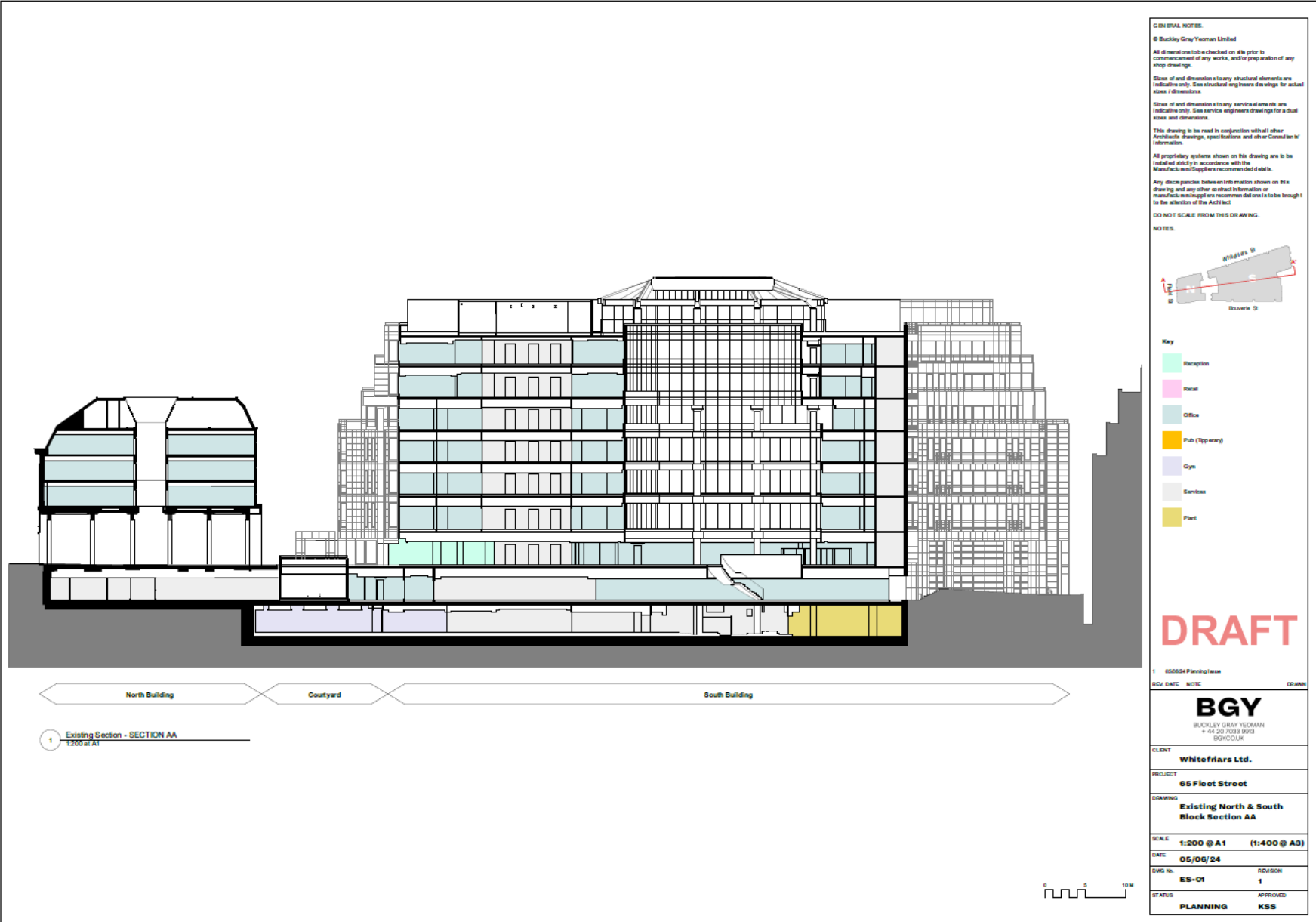
**REVISION**  
02

**STATUS**  
APPROVED

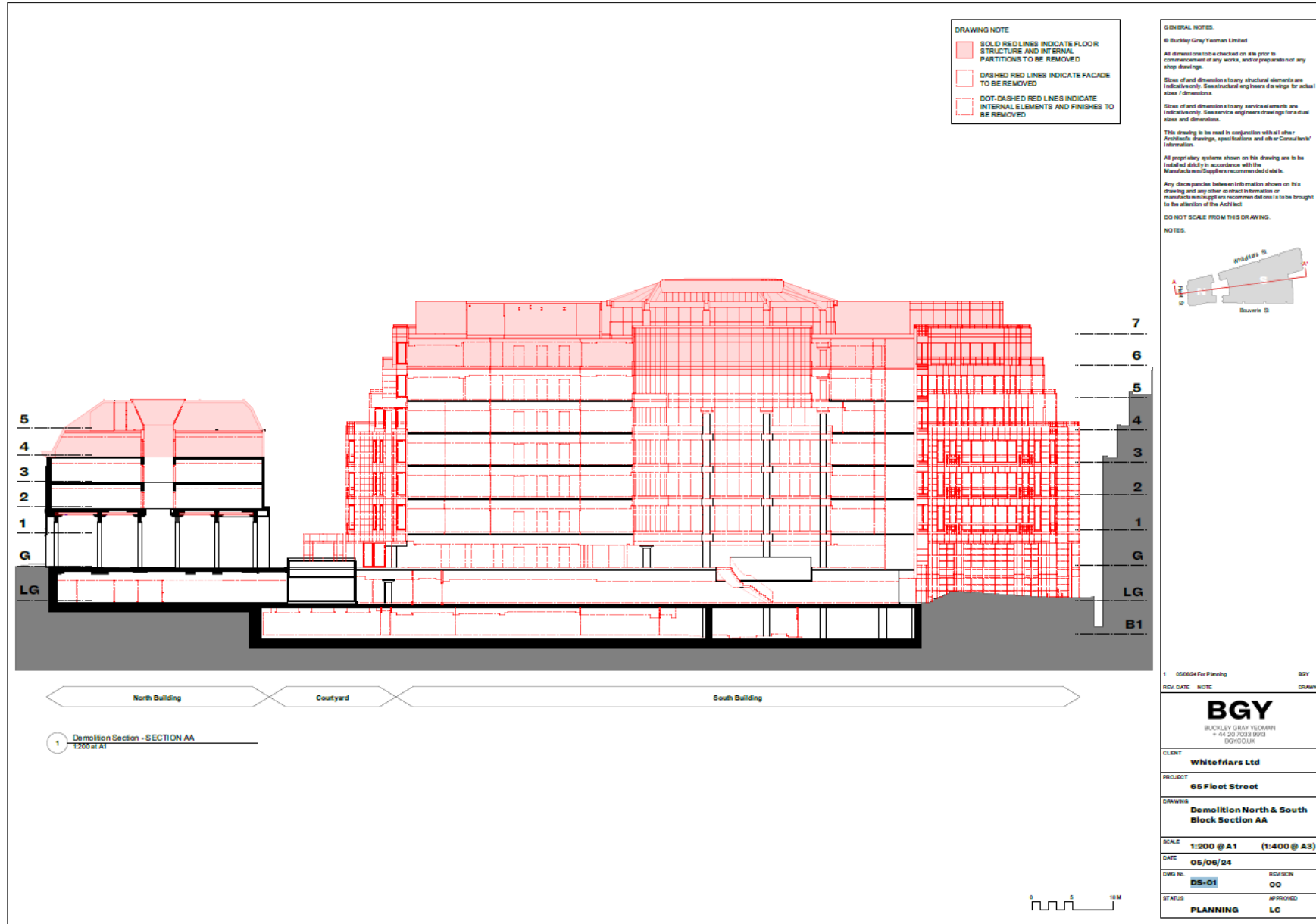
**PLANNING**  
LC

Proposed North Block Courtyard Elevation (1289-GE-06 rev. 02)





Existing North & South Block Section AA



Demolition North & South Block Section AA



Proposed North & South Block Section AA

**GENERAL NOTES:**

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DO NOT SCALE FROM THIS DRAWING.

**NOTES:**

**Key**

- Reception
- Retail
- Office
- Pub (Tipperary)
- Gym
- Services
- Plant

**DRAFT**

1 050624 Planning Issue  
REV. DATE NOTE DRAWN

**BGY**  
BUCKLEY GRAY YEAMAN  
44-20 TONK 9903  
BGYCDLAK

CLIENT **Whitefriars Ltd.**

PROJECT **65 Fleet Street**

DRAWING **Existing North & South Block Section BB & CC**

SCALE **1:200 @ A1 (1:400 @ A3)**

DATE **05/06/24**

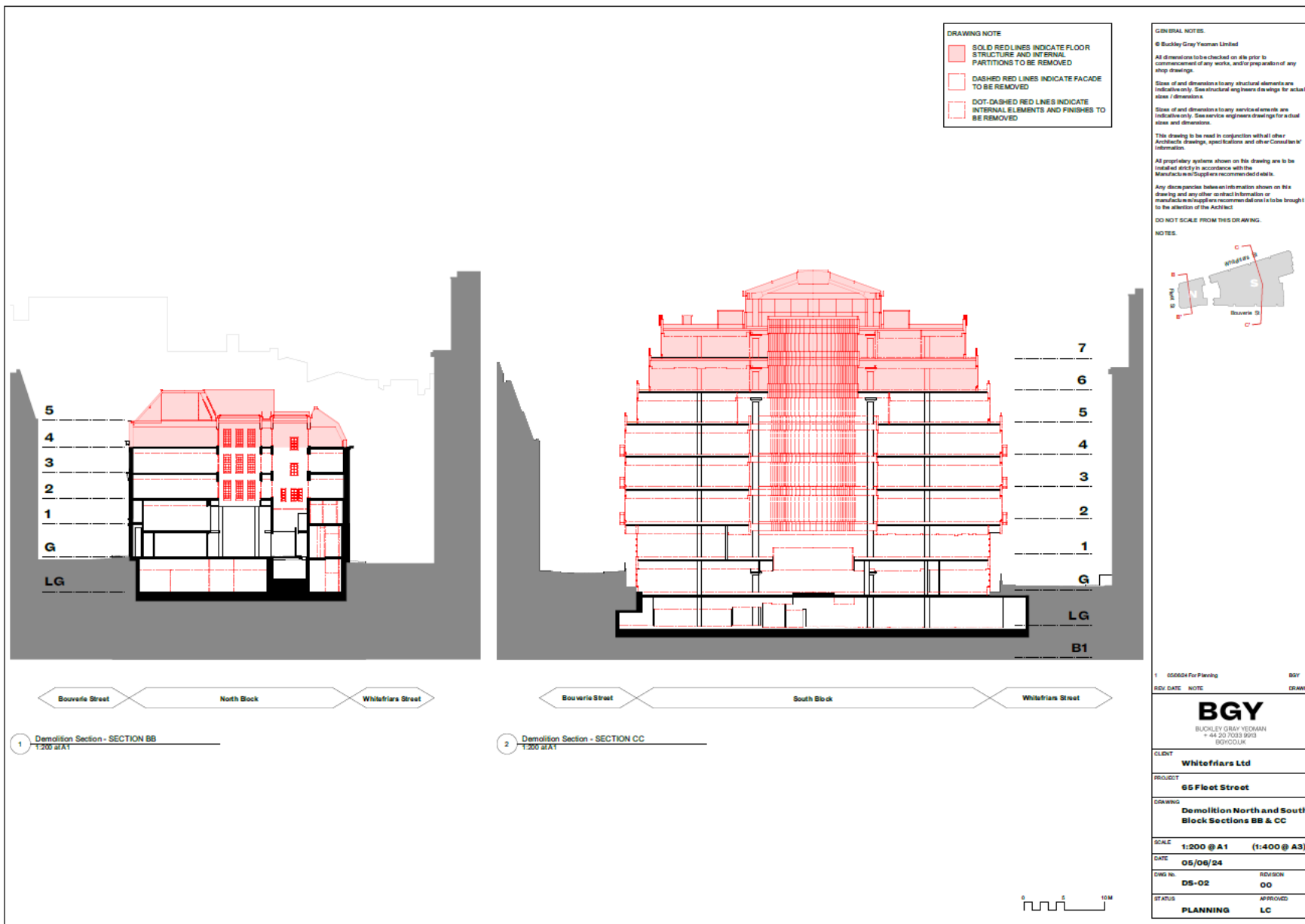
DWG NO. **ES-02** REVISION **1**

STATUS **PLANNING** APPROVED **KSS**

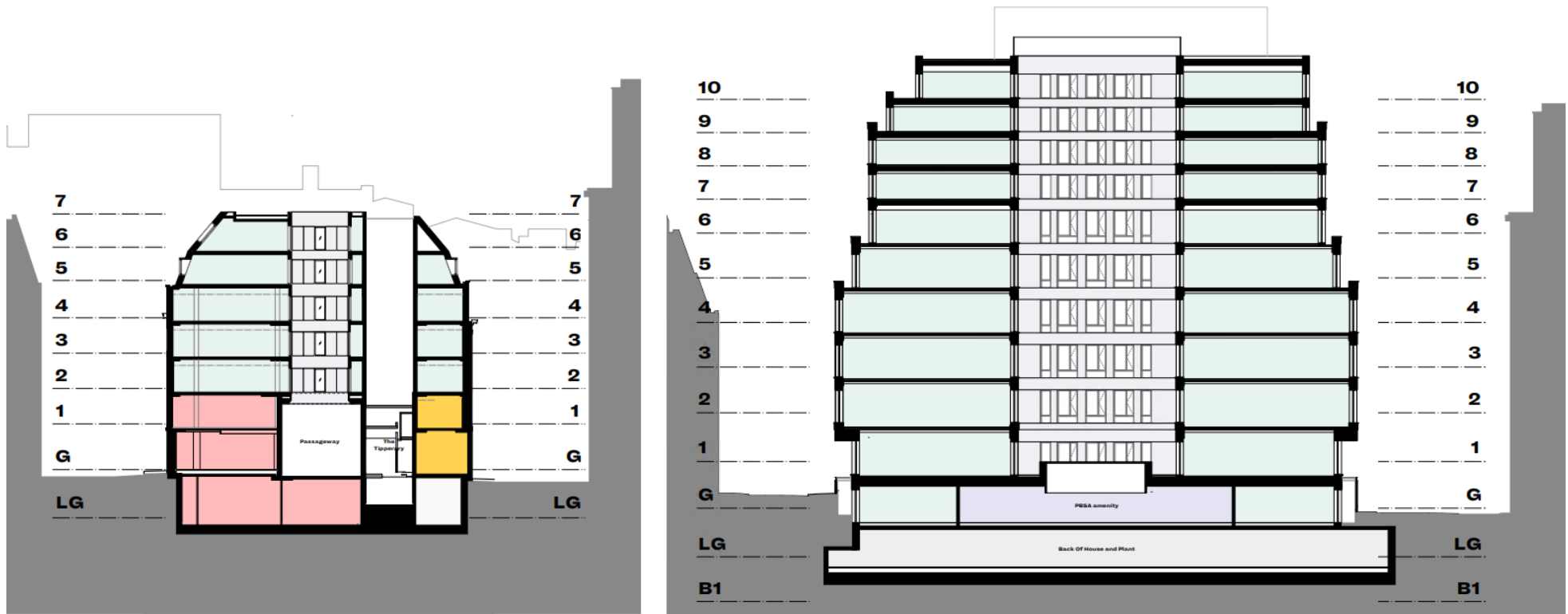
1 Existing Section - SECTION BB  
1:200 @ A1

2 Existing Section - SECTION CC  
1:200 @ A1

Existing North & South Block Section BB & CC

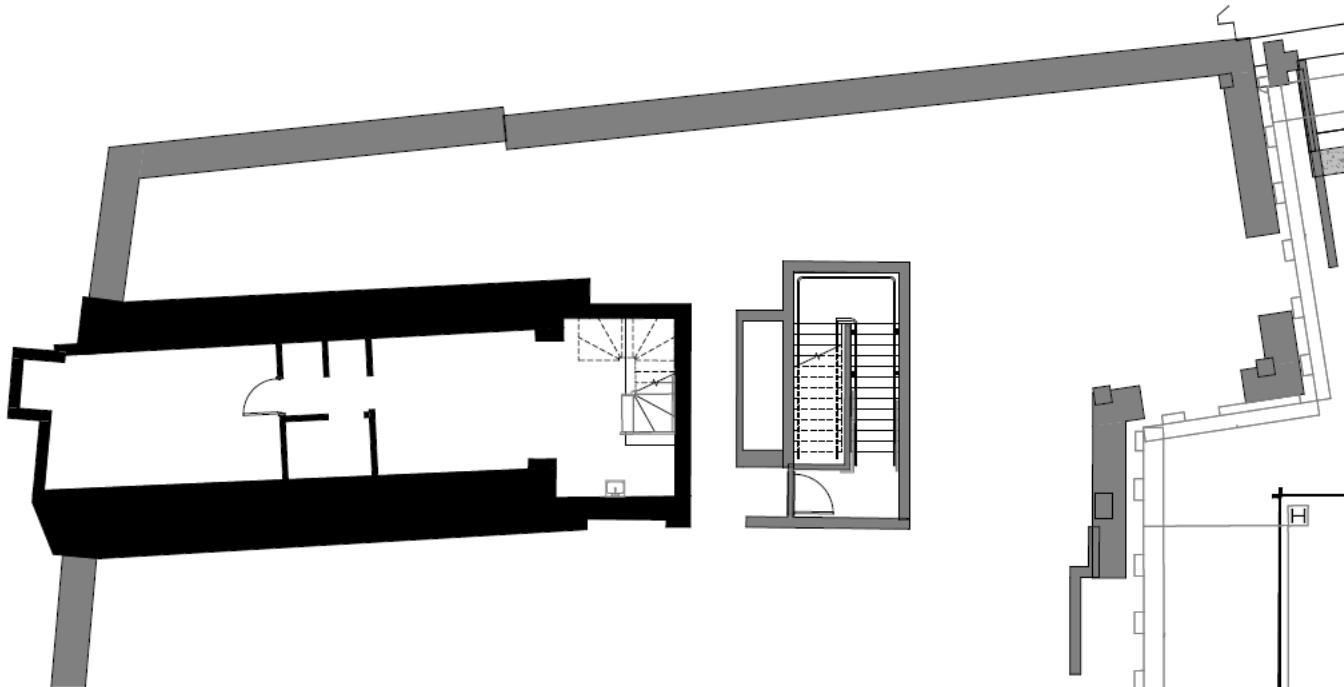


Demolition North and South Block Sections BB & CC



Proposed North and South Block Sections BB & CC

1 T.B1\_Tipperary Existing Floor Plan  
1:50



CDM 2015 Health & Safety Information

This information relates only to 'significant' notifiable construction work and is to be read in conjunction with the Designer's Risk Assessment Report.

Key & Notes:

This drawing should be viewed in Colour

- Existing listed walls
- Existing non-listed walls and columns to remain

POB	11.07.24	North Avenue, 401040	RG
PO2	07.08.24	Review Update	RG
PO3	08.08.24	Design Update	PF, RG
PO4	02.09.24	Graphic Update	RG
PO5	31.08.24	Final Issue	PF, RG

Rev: Date: Revision Details: Dr: Ch:

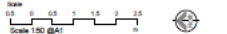
**WESTWORKS**  
www.westworks.co.uk

Westworks Design Tower  
Cannon Street, London, EC4Y 3DF  
T: 01753 61211 E: info@westworks.co.uk  
Boulevard, 40, King's Cross Road, Hertford, Herts, SG11 1JH  
T: 01438 348771 E: sales@westworks.co.uk  
London, 70 Great Suffolk Street, London, SE1 1UL  
T: 020 7600 2770 E: services@westworks.co.uk

Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Tipperary Level B1 Existing Plans



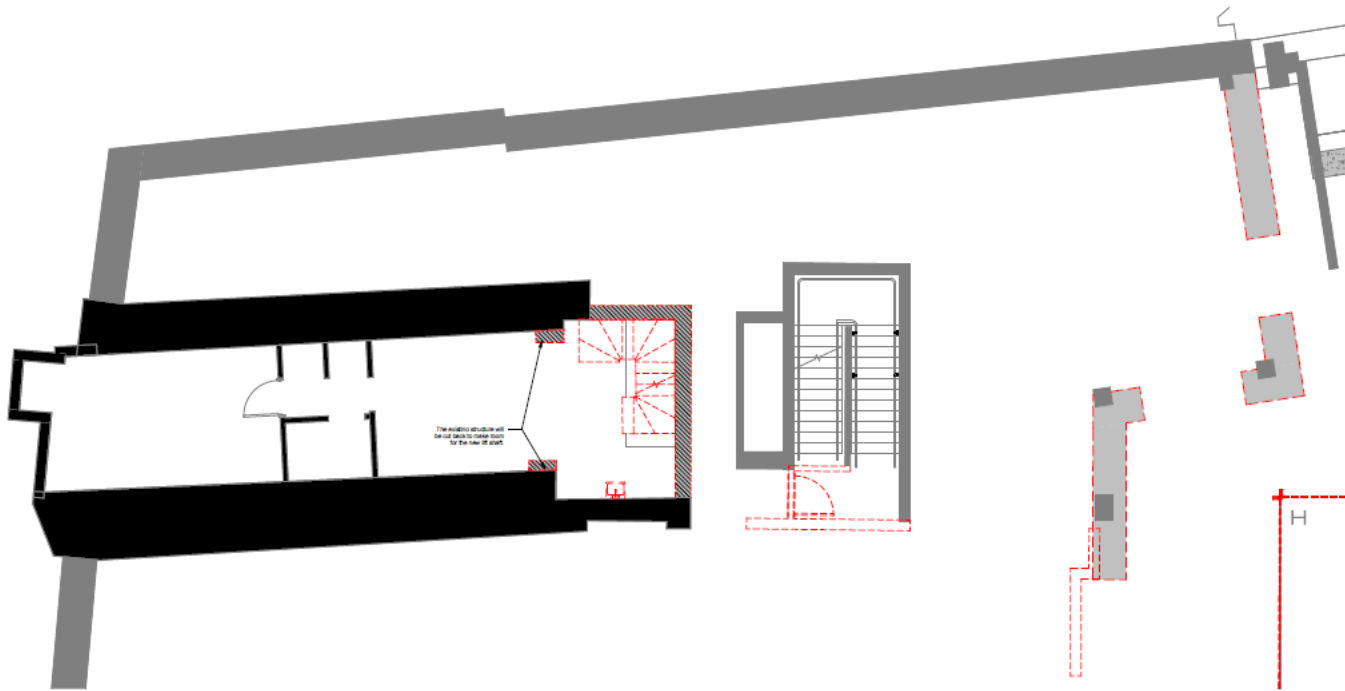
Drawn: PF Checked: RG Date: 30/05/24

Job No	Design	Rev	Level	Disc	Draw	Issue	Number	Sheet	Total
WD863	WW	ZZ	B1	DR	A	0121	S2	PO5	

FOR INFORMATION

All RCP drawings shall be dimensioned to the centre line of the walling unless otherwise stated. The contractor shall be responsible for any variations to the drawings.

1 T.B1 Tipperary Demolition Floor Plan  
1:50



CDM 2015 Health & Safety Information  
This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Employer's Risk Assessment Register.

**Key & Notes:**  
This drawing should be viewed in Colour

- Existing steel walls to remain
- Existing non-steel walls and columns to remain
- Existing building elements to remain
- Structural elements to be removed/demolished
- Other building elements to be removed/demolished

Rev	Date	Revision Details	By	Chk
001	11.07.24	Issue for tender	RG	
002	08.08.24	Revised	RG	
003	03.09.24	Revised	RG	
004	21.09.24	Final Issue	RG	

**WESTWORKS**  
www.westworks.co.uk

Company Name: Dominus

Address: 65 Fleet Street London

Drawing Title: Tipperary Level B1 Demolition Plans



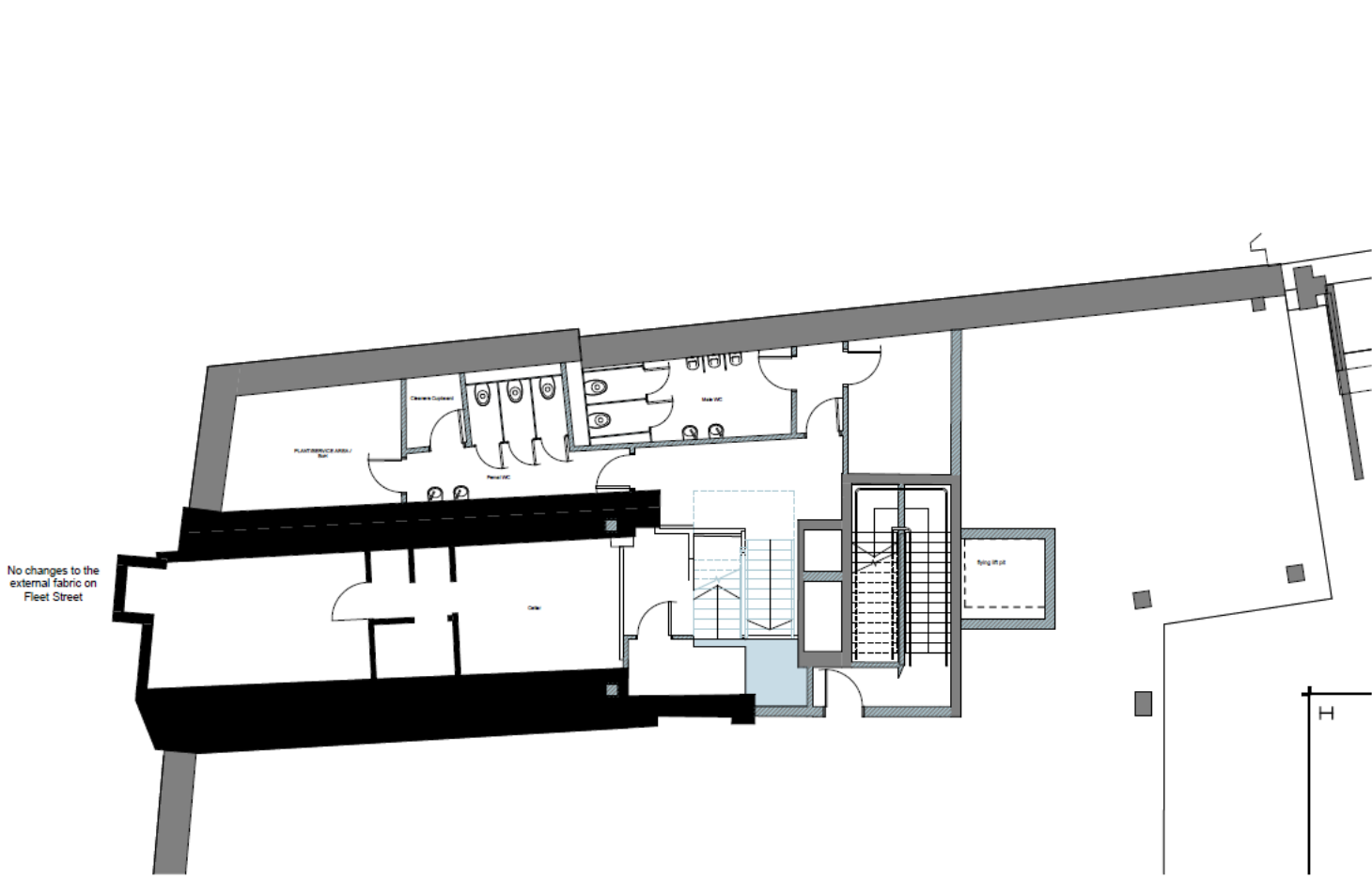
Drawn	Checked	Date
RF	RG	30/05/24

Job No	Client	Site	Level	Room	Sheet	Total
W0663	WW	ZZ	B1	DR	A	1220
						52
						PD4

FOR INFORMATION

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**CDM 2015 Health & Safety Information**  
 The information herein only is to be used in conjunction with the Client's Risk Assessment Report and is to be read in conjunction with the Designer's Risk Assessment Report.

**Key & Notes:**  
 This drawing should be viewed in Colour

- Existing level walls
- Existing non-level walls and columns
- Proposed walls and columns
- Proposed floors
- Proposed external ramps

1 T.B1 Tipperary Planning Floor Plan  
 1:50

Rev. Date Revision Details  
 01 03

Plot	11.02.24	South access added	RG
POD	08.06.24	Graphic Update	RG
POD	03.08.24	Graphic Update	RG
POD	21.05.24	Final Issue	RG

Author	Westworks Services Team	0203 7808 2773
7/10/17 214 7153 & 21000@westworks.com		
04 55 Anglen Road, Woking		
1 319433 248777		
London	70 Longwalk Road	
London SE17 6AL		

**WESTWORKS**  
 www.westworks.com

Client Name  
 Dominus

Job Title  
 65 Fleet Street London

Drawing Title  
 Tipperary Level B1 Planning Plans

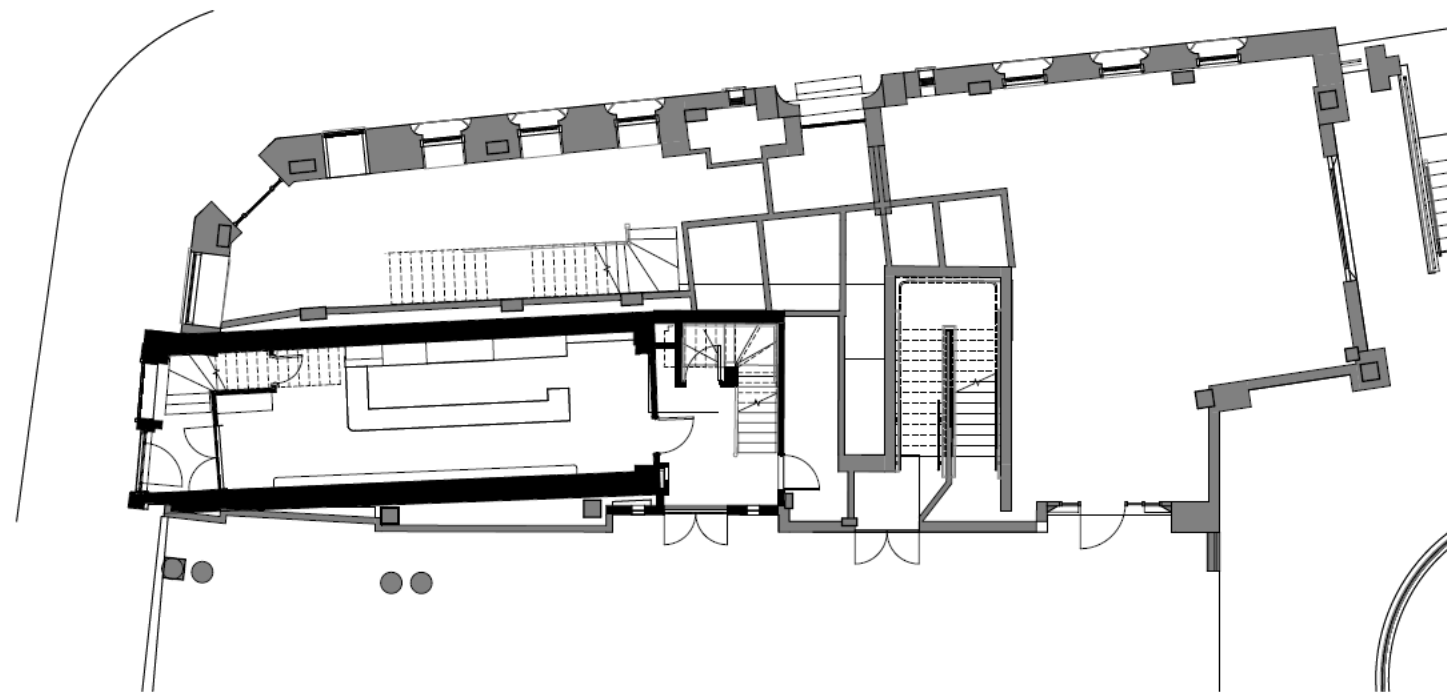
Scale  
 1:50 (A1)

Drawn	RG	Checked	RG	Date	30/05/24
PF					

Job No	Client	Use	Level	Zone	Block	Number	Sheet	Total
WD863	WW	ZZ	B1	DR	A	0221	02	PD4

FOR INFORMATION

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CDM 2015 Health & Safety Information  
This information is to be read in conjunction with the drawings and is to be read in conjunction with the Designer's Risk Assessment Report.

**Key & Notes:**  
This drawing should be viewed in Colour.  
Existing listed walls  
Existing non-listed walls and columns to remain

1 T.00 Tipperary Existing Floor Plan  
1:50

Revisions

No.	Date	Revision Details	By	Chk
1	11/07/24	Initial drawings added	RG	
2	07/08/24	Revised updates	RG	
3	08/08/24	Structural updates	RF	RG
4	09/08/24	Graphic updates	RG	
5	21/08/24	Final issue	RF	RG

**WESTWORKS**  
www.westworks.co.uk

Client Name  
**DOMINUS**

Job Title  
65 Fleet Street London

Drawing Title  
Tipperary Level 00 Existing Plans



Drawn: PF  
Checked: RG  
Date: 05/30/24

Job No.	Client	Use	Level	Room	Number	Status	Date
W0863	WW	ZZ	00	DR	A 0122	S2	P05

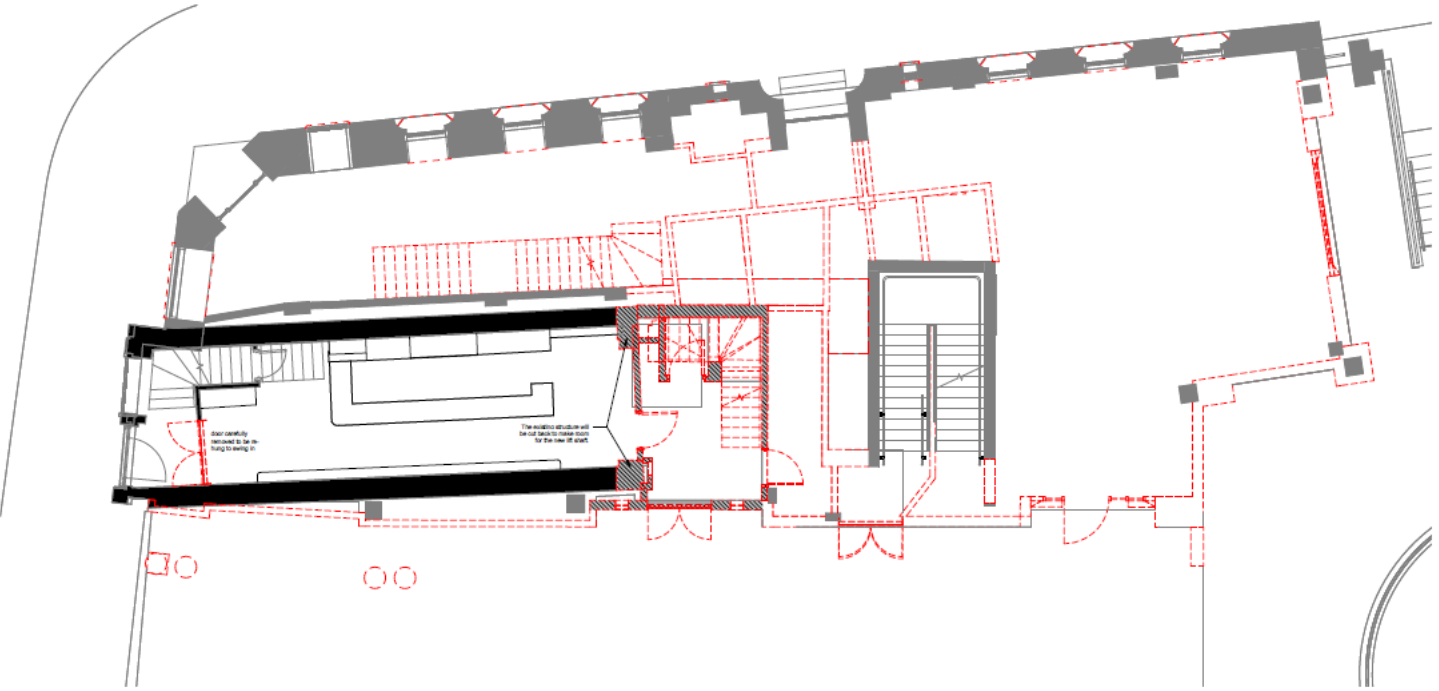
FOR INFORMATION

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**CDM 2015 Health & Safety Information**  
 The information within this document is provided for information only and is not to be used in conjunction with the Designer's Risk Assessment Register.

**Key & Notes:**

- Existing listed walls to remain
- Existing non-listed walls and columns to remain
- Existing building elements to remain
- Additional elements to be removed/destroyed
- Listed building elements to be removed/destroyed



1 T.00 Tipperary Demolition Floor Plan  
 1:50

PO4	11.07.24	North Avenue, Mill Hill	RG
PO3	08.06.24	Graphic Location	PF RG
PO2	10.05.24	Graphic Location	RG
PO1	31.03.24	Final Issue	PF RG

Rev.	Date	Description	By	Chk

**WESTWORKS**  
 www.westworks.co.uk

Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Tipperary Level 00 Demolition Plans

Scale: 1:50 (A1)

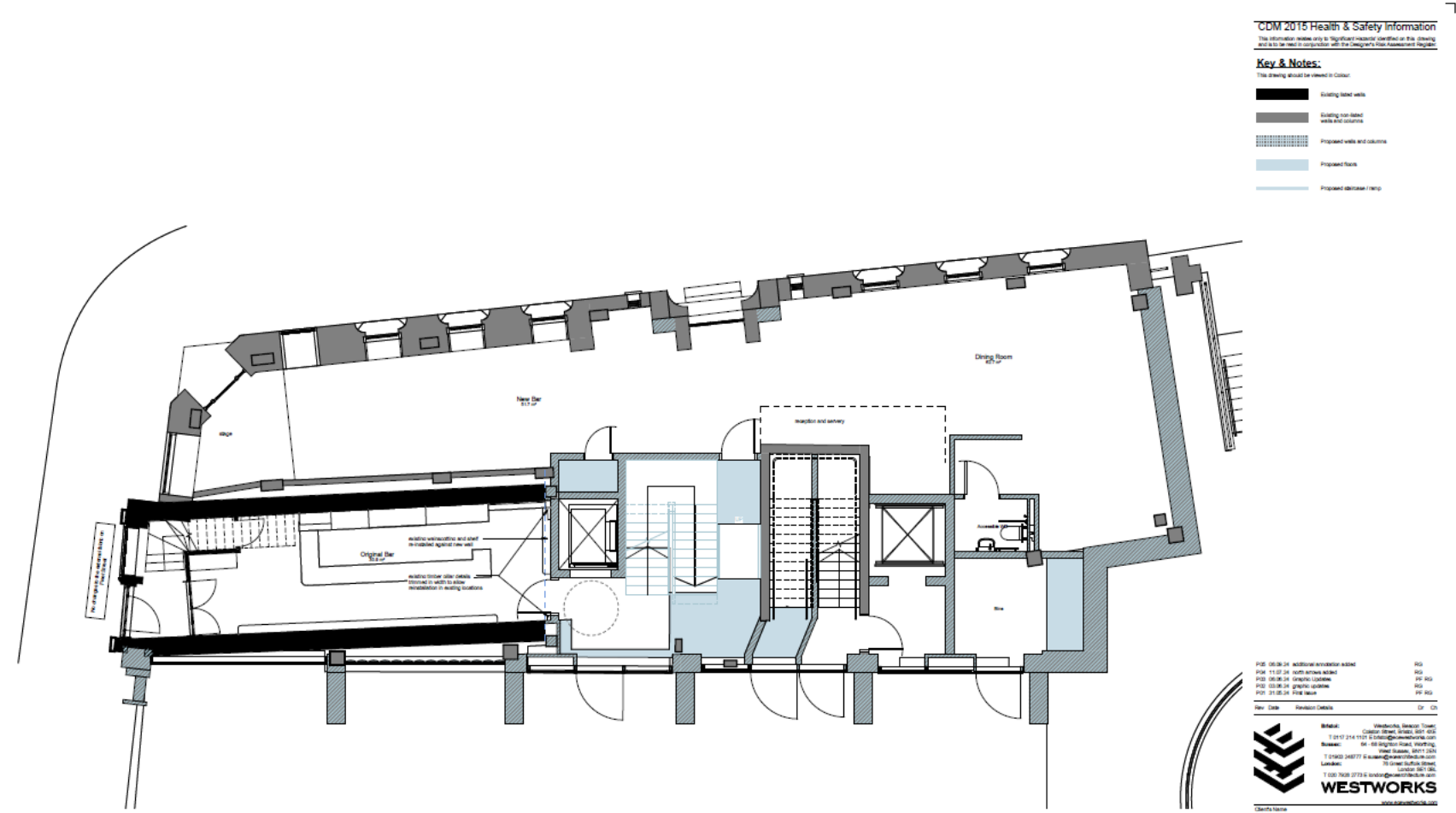
Drawn: PF  
 Checked: RG  
 Date: 30/05/24

Job No	Origin	Iss	Drawn	Scale	Number	Sheet	Rev
W0863	WW	ZZ	00	DR	A	1221	S2
							PO4

**FOR INFORMATION**

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1 T.00 Tipperary Planning Floor Plan  
1:50

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This information relates only to significant hazards identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register.

- Key & Notes:**  
This drawing should be viewed in Colour
- Existing tiled walls
  - Existing non-load bearing walls and columns
  - Proposed walls and columns
  - Proposed floors
  - Proposed staircase ramps

Rev	Date	Revision Details	EP	CR
001	08/08/24	addition enclosure added	RG	
002	11/02/24	north access added	RG	
003	08/08/24	original location	PP	RG
004	02/08/24	original location	PP	RG
005	21/02/24	2024 layout	PP	RG

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London: 75 Great South Street, London, SE1 8JH  
T: 020 7608 2772 or london@westworks.co.uk

Client Name  
**Dominus**

Job Title  
**65 Fleet Street London**

Drawing Title  
**Tipperary Level 00 Planning Plans**

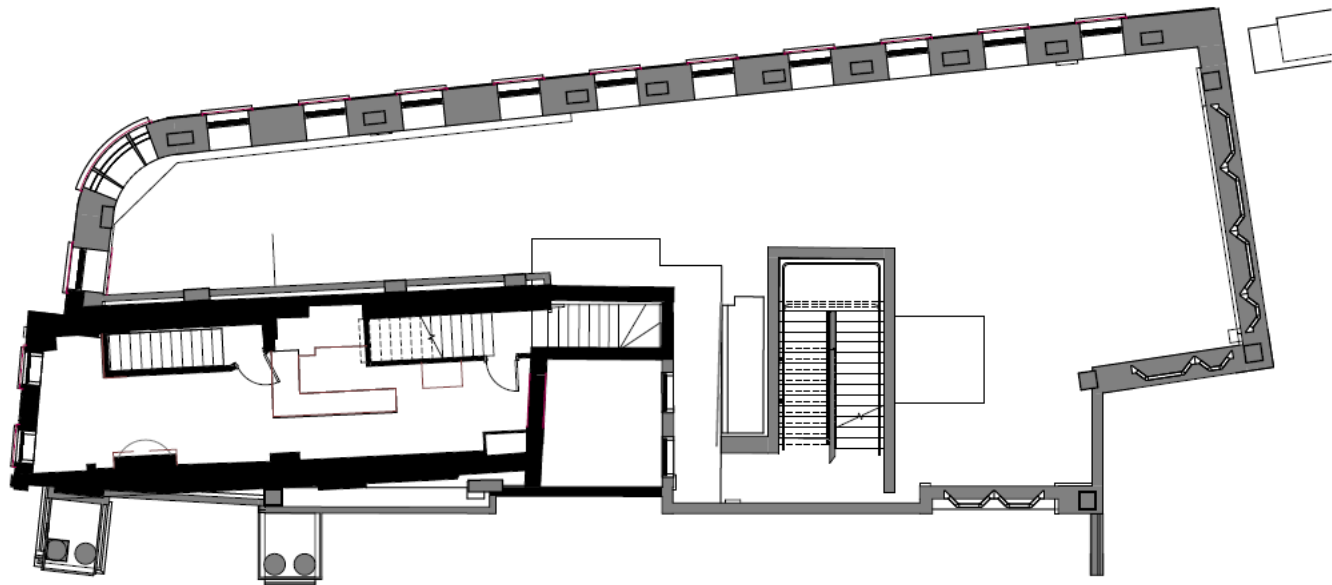


Drawn: PF  
Checked: RG  
Date: 30/05/24

Job No	Origin	Iss	Level	Type	Sheet	Number	Sheet	Total
W0863	WW	ZZ	00	DR	A	0222	S2	POS

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**Key & Notes:**

- This drawing should be viewed in Colour
- Existing solid walls
- Walls to be removed

1 T.01 Tipperary Existing Floor Plan  
1:50

POS	11.07.20	4000	RG
POS	07.08.20	4000	RG
POS	08.08.20	4000	RG
POS	09.08.20	4000	RG
POS	10.08.20	4000	RG

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Client Name: Dominus  
JCB No: 65 Fleet Street London  
Drawing Title: Tipperary Level 01 Existing Plans

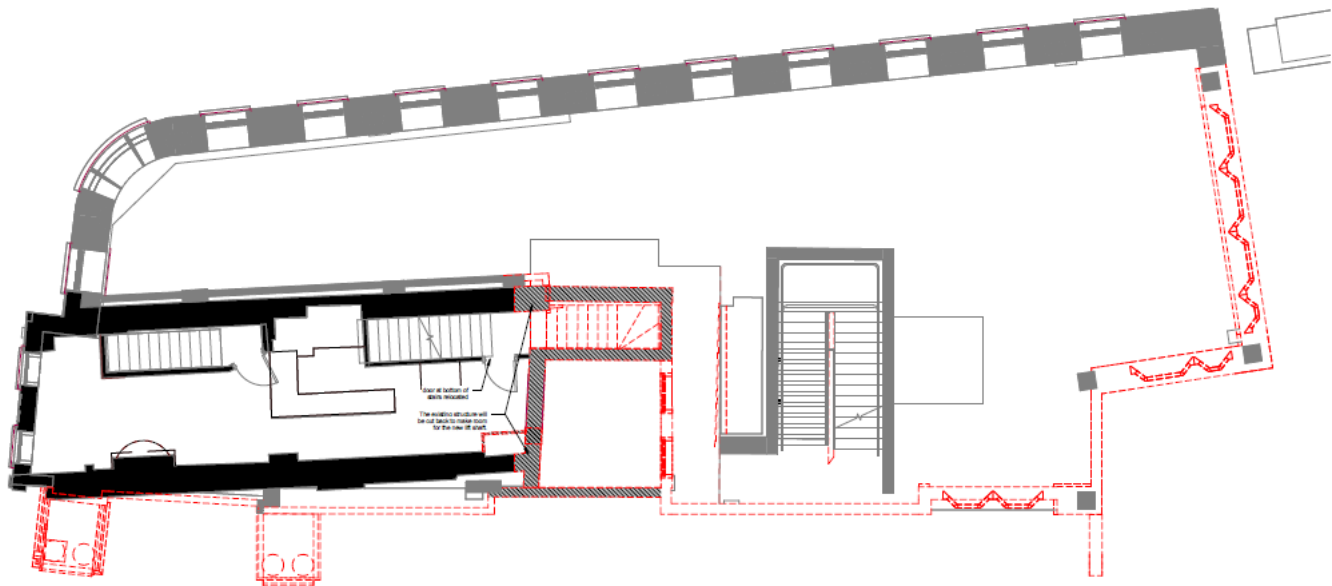
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Scale 150 @A1

Drawn	Checked	Date
PF	RG	05/30/24

Job No	Origin	Vol	Issue	Type	Rev	Issue	Rev
W0863	WW	ZZ	01	DR	A	0123	S2 P05

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

1 T.01 Tipperary Demolition Floor Plan  
1:50

CDM 2015 Health & Safety Information

This information relates only to the specific elements of the drawing and is to be read in conjunction with the Contractor's Risk Assessment Register

Key & Notes:

This drawing should be viewed in Colour

-  Existing listed walls to remain
-  Existing non-listed walls and columns to remain
-  Existing building elements to remain
-  Building elements to be removed/demolished
-  Listed building elements to be removed/demolished

PG01	11.07.24	Initial scheme agreed	RG
PG02	08.08.24	Contract awarded	RG
PG03	03.08.24	Contract awarded	RG
PG04	21.02.24	Final issue	RG

Rev. Date Revision Details Dr. Ch

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Client Name Dominus

Site 65 Fleet Street London

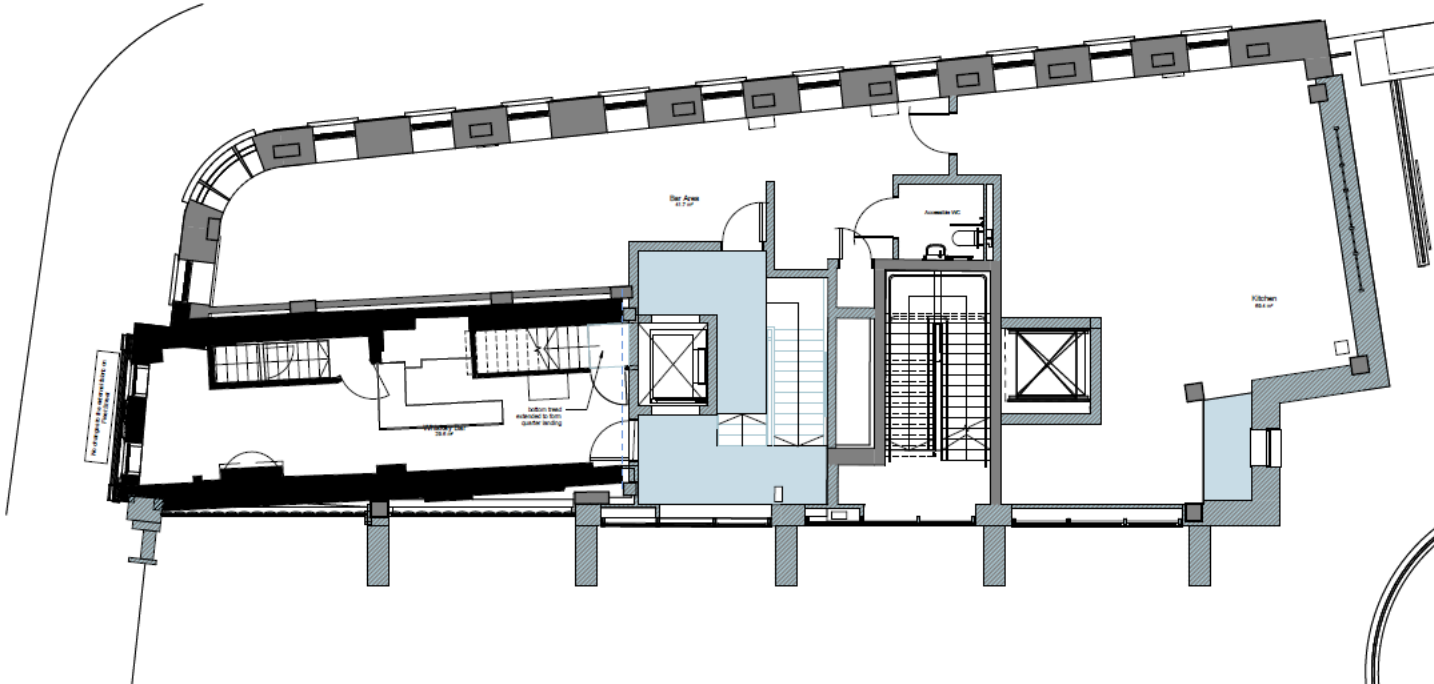
Drawing Title Tipperary Level 01 Demolition Plans



Drawn	Checked	Date
PF	RG	30/05/24

Project	Discipline	Level	Room	Sheet	Number	Scale	Date
W0663	WW	ZZ	01	DR	A	1222	S2 PD4

FOR INFORMATION



1 T.01 Tipperary Planning Floor Plan  
1:50

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- Key & Notes:**  
The drawing should be viewed in Color
- Existing solid walls
  - Existing non-load bearing walls and columns
  - Proposed walls and columns
  - Proposed floors
  - Proposed staircase / ramp

P04 11.07.24 North Arrow added RG  
 P03 08.06.24 Graphic Update RW  
 P02 02.06.24 Graphic Update RW  
 P01 31.05.24 First Issue RW

New Date: Revision Details: Dr: Ch

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Client Name: Dominus

Job Title: 65 Fleet Street London

Drawing Title: Tipperary Level 01 Planning Plans



Drawn: PF  
 Checked: RG  
 Date: 30/05/24

Job No	Design	Rev	Level	Type	Issue	Number	Status	Date
W0863	WW	ZZ	01	DR	A	0223	S2	PO4

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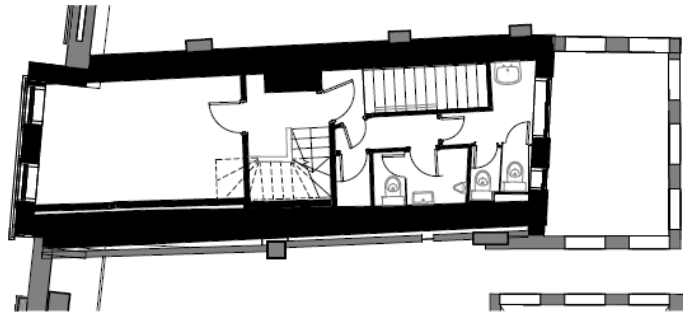
**CDM 2015 Health & Safety Information**

The information shown only to Significant Risks identified on this drawing and is to be read in conjunction with the Designer's Risk Assessment Register

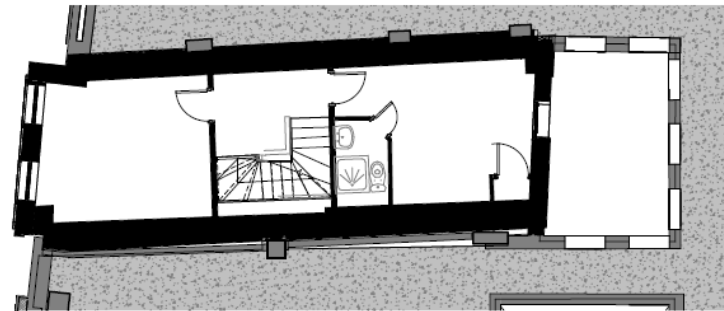
**Key & Notes:**

The drawing should be viewed in Colour

- Existing fixed walls
- Existing non-fixed walls and columns to remain



1 T.02 Tipperary Existing Floor Plan  
1:50



2 T.03 Tipperary Existing Floor Plan  
1:50

Rev	Date	Revision Details	Dr	Ch
000	11.03.24	North arrow added	RG	
001	07.06.24	Issue update	RG	
002	08.08.24	Graphic Update	PF	RG
003	03.09.24	Graphic update	RG	
004	21.08.24	Final Issue	PF	RG

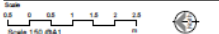
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London EC4Y 0BU  
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Client Name  
Dominus

227/186  
65 Fleet Street London

Drawing Title  
Tipperary Level 02-03 Existing Plans



Drawn  
PF

Checked  
RG

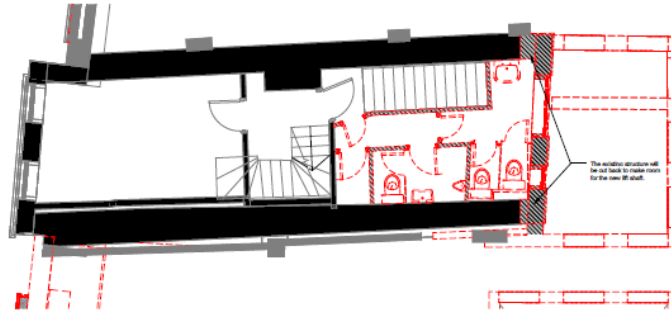
Date  
05/30/24

Rev No	Origin	For	Level	Type	Scale	Revision	Status	Rev
W0863	WW	ZZ	ZZ	DR	A	0124	S2	POS

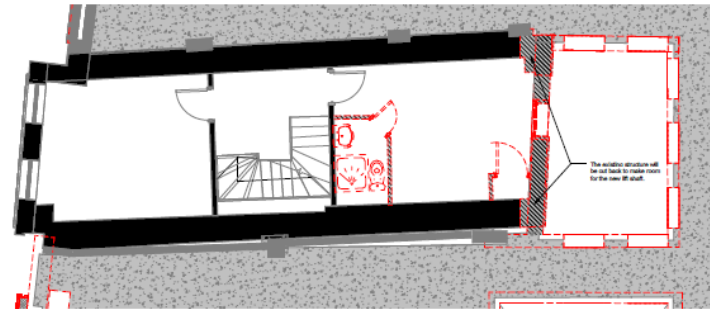
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1 T.02 Tipperary Demolition Floor Plan  
1:50



2 T.03 Tipperary Demolition Floor Plan  
1:50

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- Key & Notes:**  
This drawing should be viewed in Colour.
- Existing listed walls to remain
  - Existing non-listed walls and columns to remain
  - Existing building elements to remain
  - Building elements to be removed/demolished
  - Listed building elements to be removed/demolished

PG4	11.07.24	North Annex added	RG
PG2	08.06.24	Graphic updates	PF RG
PG2	02.06.24	Graphic updates	RG
PG1	31.05.24	Final Issue	PF RG

Rev. Date Revision Details Dr. CR

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Westworks, Beacon Tower,  
Cotton Street, Ipswich, IP1 4QJ  
T 01473 214 111 E [info@westworks.co.uk](mailto:info@westworks.co.uk)

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Wiltshire, SN11 2JH  
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Client Name  
Dominus

Site No  
65 Fleet Street London

Drawing No  
Tipperary Level 02-03 Demolition Plans

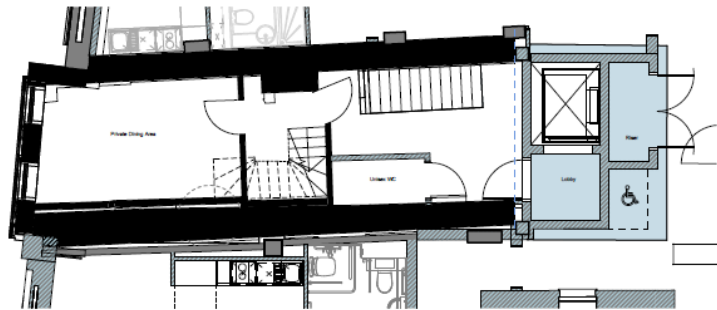
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Drawn	Checked	Date
PF	RG	30/05/24

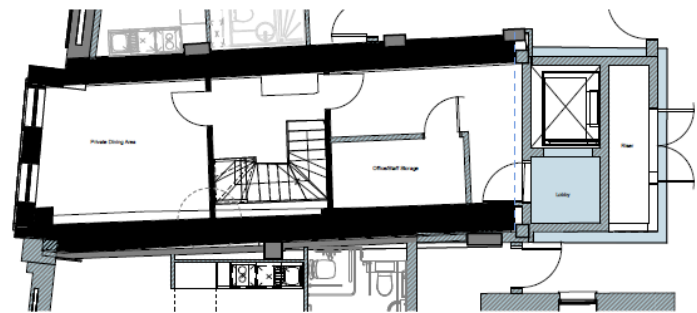
Ref No	Ugh	Via	Level	Type	Rev	Issue	Rev
W0563	WW	ZZ	ZZ	DR	A	1223	S2 PD4

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1 **T.02 Tipperary Planning Floor Plan**  
1:50



2 **T.03 Tipperary Planning Floor Plan**  
1:50

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**Key & Notes:**

- Existing structure
- Existing non-steel walls and ceilings
- Proposed walls and ceilings
- Proposed floors
- Proposed staircase / ramp

RF4	11.03.24	North access added	RG
RF3	08.08.24	Graphic Update	PF RG
RF2	03.08.24	Graphic Update	RG
RF1	01.08.24	Final Issue	PF RG

Rev. Date Description Details DW CD

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Client Name: Dominus

Site No: 65 Fleet Street London

Working Title: Tipperary Level 02-03 Planning Plans



Drawn	Checked	Date
PF	RG	30/05/24

DRG No	Origin	Rev	Level	Type	Status	Issue	Rev
W0863	WW	ZZ	ZZ	DR	A	0224	S2 P04

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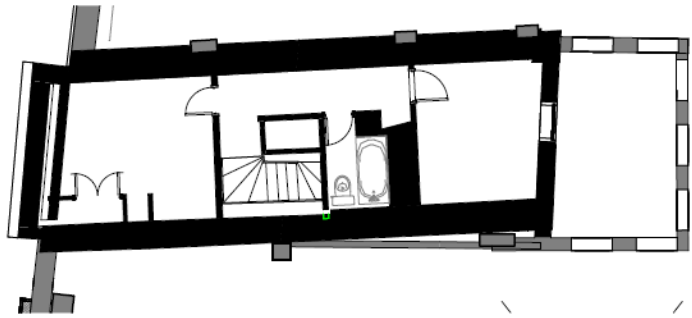
CDM 2015 Health & Safety Information

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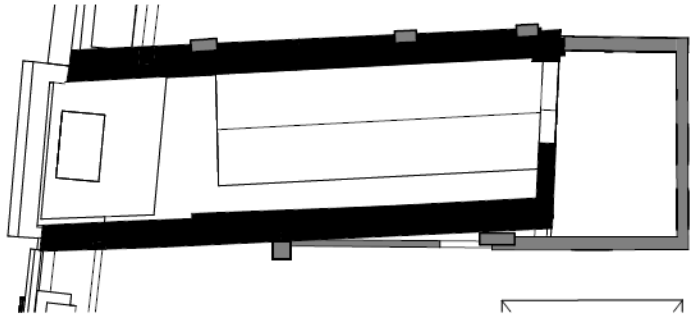
Key & Notes:

This drawing should be viewed in Colour.

- Existing fixed walls
- Existing non-fixed walls and partitions to remain



1 T.04 Tipperary Existing Floor Plan  
1:50



2 T.05 Tipperary Existing Floor Plan  
1:50

Rev	Date	Revision Details	DR	CR
P05	11.07.24	North arrow added	RG	
P04	07.06.24	status updated	RG	
P03	05.05.24	graphic updates	PF	RG
P02	03.05.24	graphic updates	RG	
P01	21.05.24	Final issue	PF	RG

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Client Name  
Dominus

Job No  
65 Fleet Street London

Drawing No  
Tipperary Level 04-05 Existing Plans



Scale 1:50 (A1)

Drawn PF Checked RG Date 30/05/24

Job No	Origin	Iss	Level	Type	Arch	Number	Status	Rev
W0863	WW	ZZ	ZZ	DR	A	0125	S2	P05

FOR INFORMATION

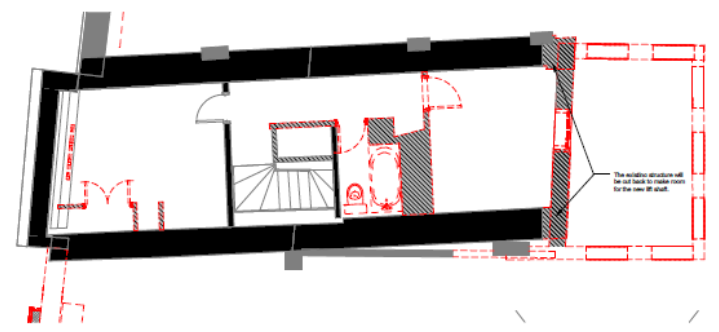
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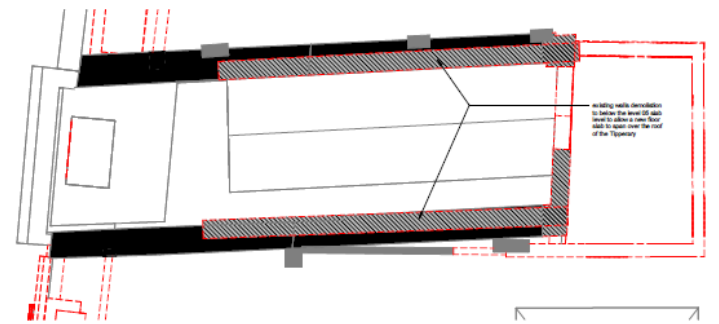
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#### Key & Notes:

- The following symbols are shown in Colour:
- Existing listed walls to remain
  - Existing non-listed walls and columns to remain
  - Existing building services to remain
  - Building elements to be removed/ demolished
  - Listed building elements to be removed/ demolished



1 T.04 Tipperary Demolition Floor Plan  
1:50



2 T.05 Tipperary Demolition Floor Plan  
1:50

Rev	Date	Revision Details	By	Chk
PG4	11.07.24	North arrow added	RG	
PG2	03.08.24	Graphic updates	PF	RG
PG3	03.08.24	Graphic updates	RG	
PG1	21.08.24	Final Issue	PF	RG

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Client Name  
Dominator

Job Title  
65 Fleet Street London

Project Title  
Tipperary Level 04-05 Demolition Plans

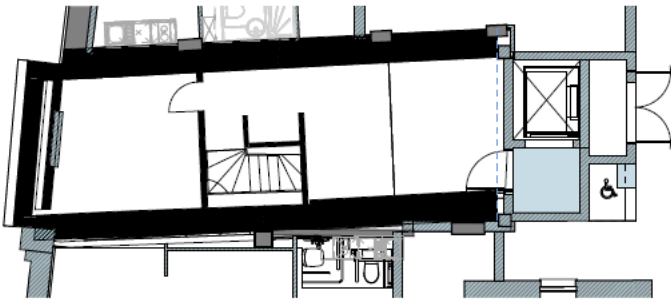


Drawn: PF  
Checked: RG  
Date: 30/05/24

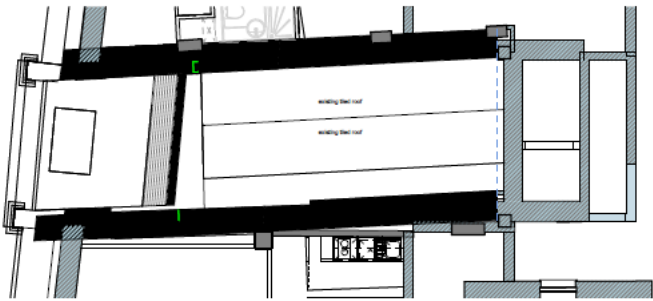
Job No.	Length	Wth	Level	Type	Area	Volume	Material	Rev
W0863	WW	ZZ	ZZ	DR	A	1224	S2	PG4

FOR INFORMATION  
001 Rev New 04/05/24 11/2/24

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1 T.04 Tipperary Planning Floor Plan  
1:50



2 T.05 Tipperary Planning Floor Plan  
1:50

CDM 2015 Health & Safety Information

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Key & Notes:

The drawing should be viewed in Colour:

- Existing steel walls
- Existing non-steel walls and columns
- Proposed walls and columns
- Proposed floor
- Proposed structural frame

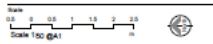
Rev	Date	Revised Details	By	Chk
PSB	11/07/24	Initial scheme added	RGJ	
PSB	08/08/24	Design Update	PP	RGJ
PSB	03/09/24	Design Update	RGJ	
PSB	21/09/24	Final Issue	PP	RGJ

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Client Name  
Dominus

65 Fleet Street London

Tipperary Level 04-05 Planning Plans

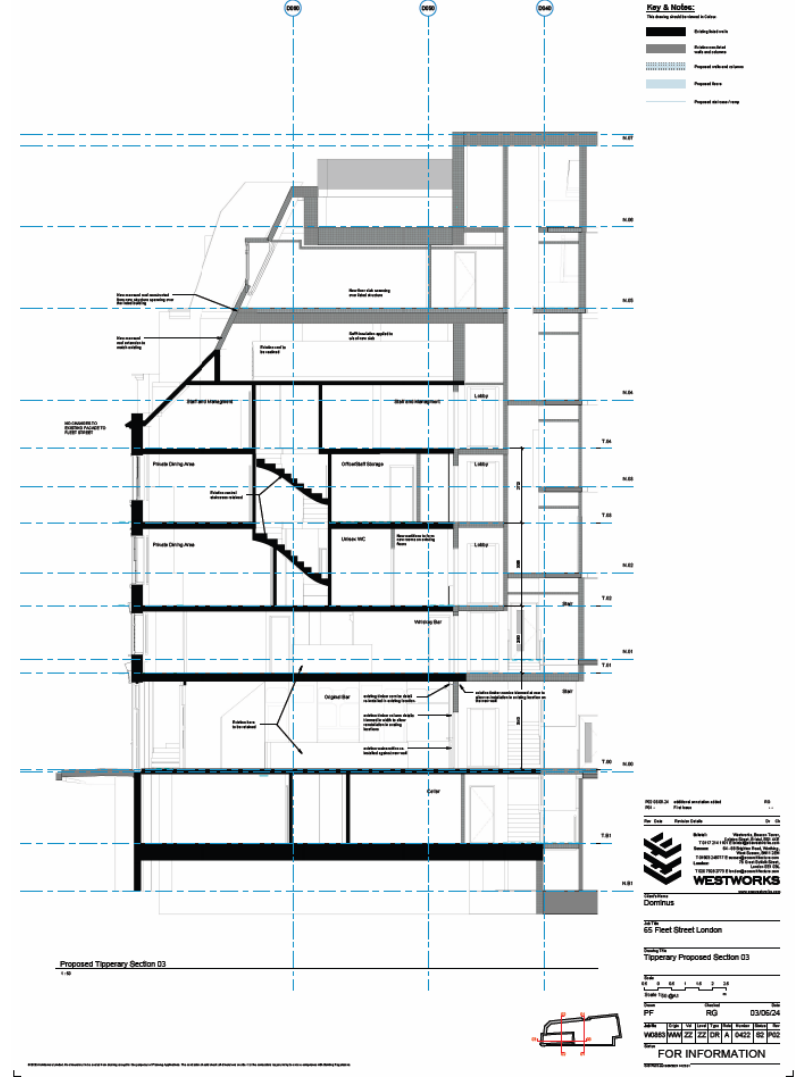
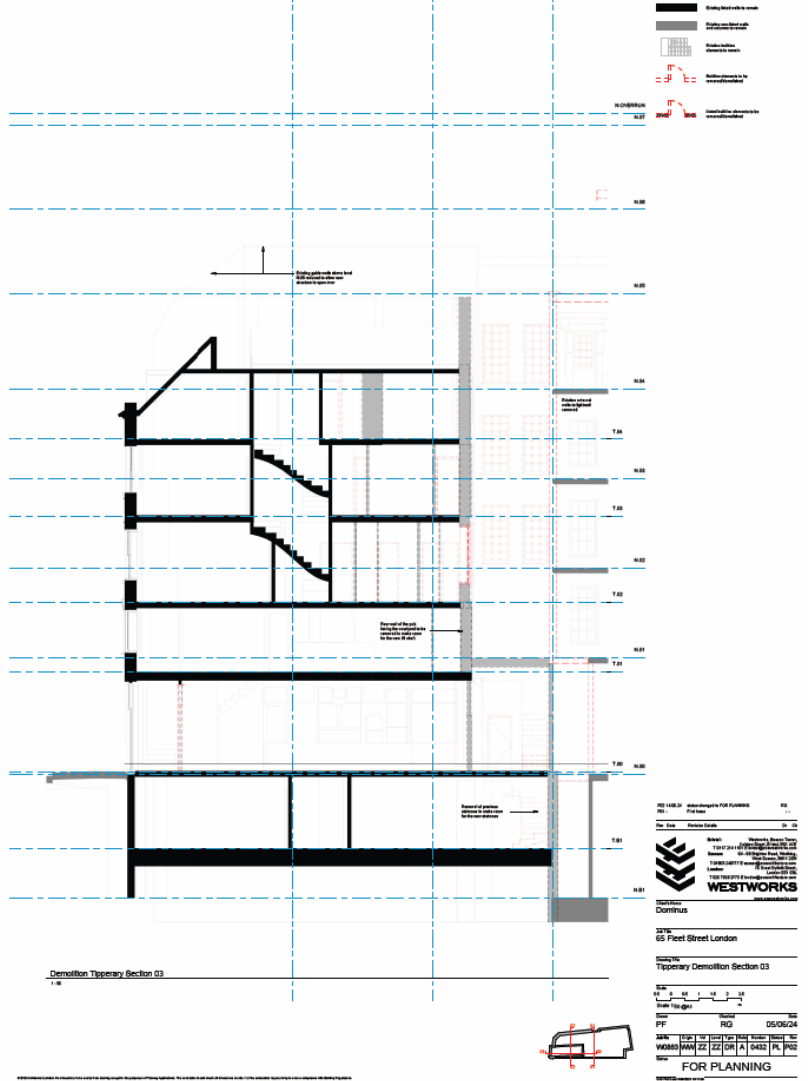
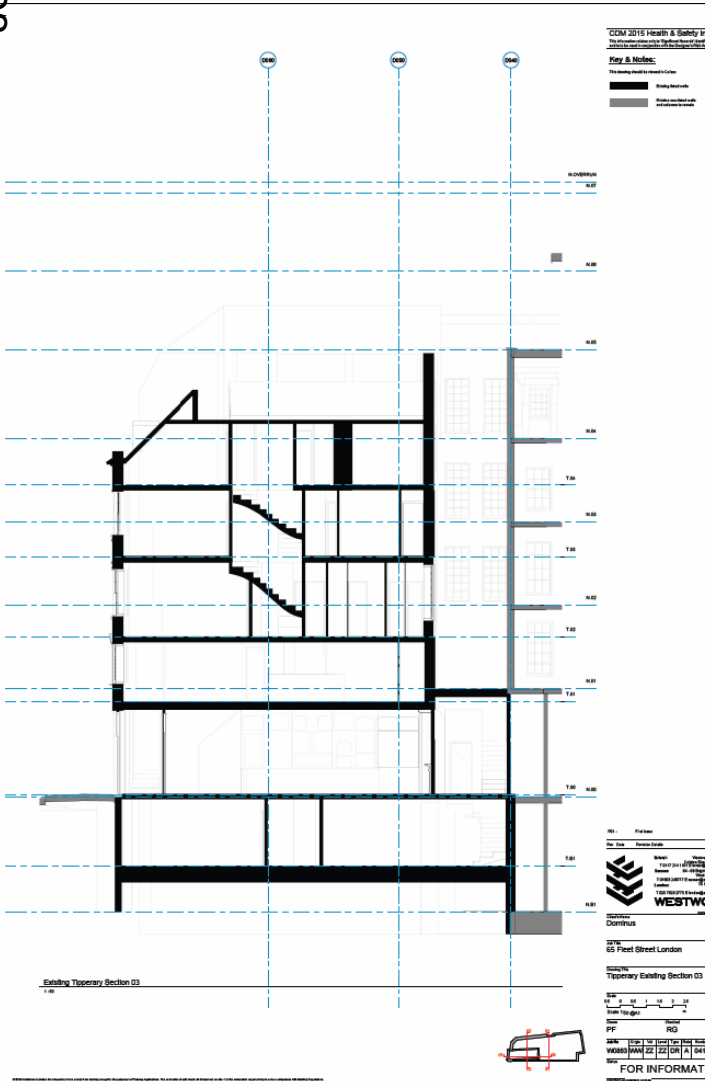


Discipline	30/05/24
PF	RG

Job No	W0653	Client Ref	WW	Zone	ZZ	DR	A	0225	02	PO4
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FOR INFORMATION

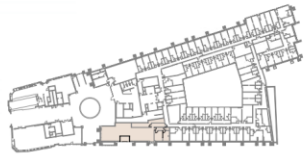
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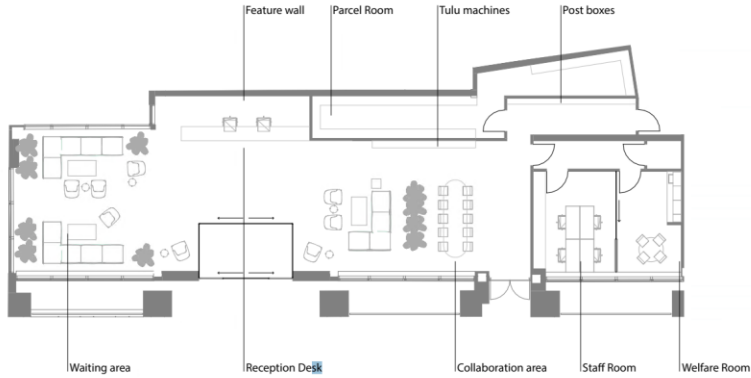
## Tipperary Existing, Demolition and Proposed Section 03

9.05 **PBSA Reception Lobby**

The reception space is a warm, inviting area that serves as the first point of contact for residents and visitors. It is characterised by a modern, yet comfortable design that promotes a sense of community and belonging. The space features a mixture of soft seating areas with sofas and armchairs and high table for collaboration area. A reception desk is prominently positioned to serve as a first point of contact.



Ground Floor plan showing PBSA reception location off Bouverie Street



PBSA Reception

Design & Access Statement

The South Block

65 Fleet Street



18.02.1 **Facade Section**

The revised design provides texture and quality in the facade with subtle fluted articulation that creates playful shadows.

Coping at each parapet and a rail at window head create shadows to break up the verticality. Additionally, the use of three hues of green provide a gentle transition against the sky, allowing for a quiet building of quality.

The coping has a shadow gap within its depth that adds to the layering of shadows.

The setting out of the fluting has been carefully considered to create a bird mouth at each junction to soften the corners of the building, in particular.

The increased window height and additional mullion provide a smaller module window and increased articulation. The proposed colour for the window frames is Green Grey RAL 7009 which works well with each of the green tones.

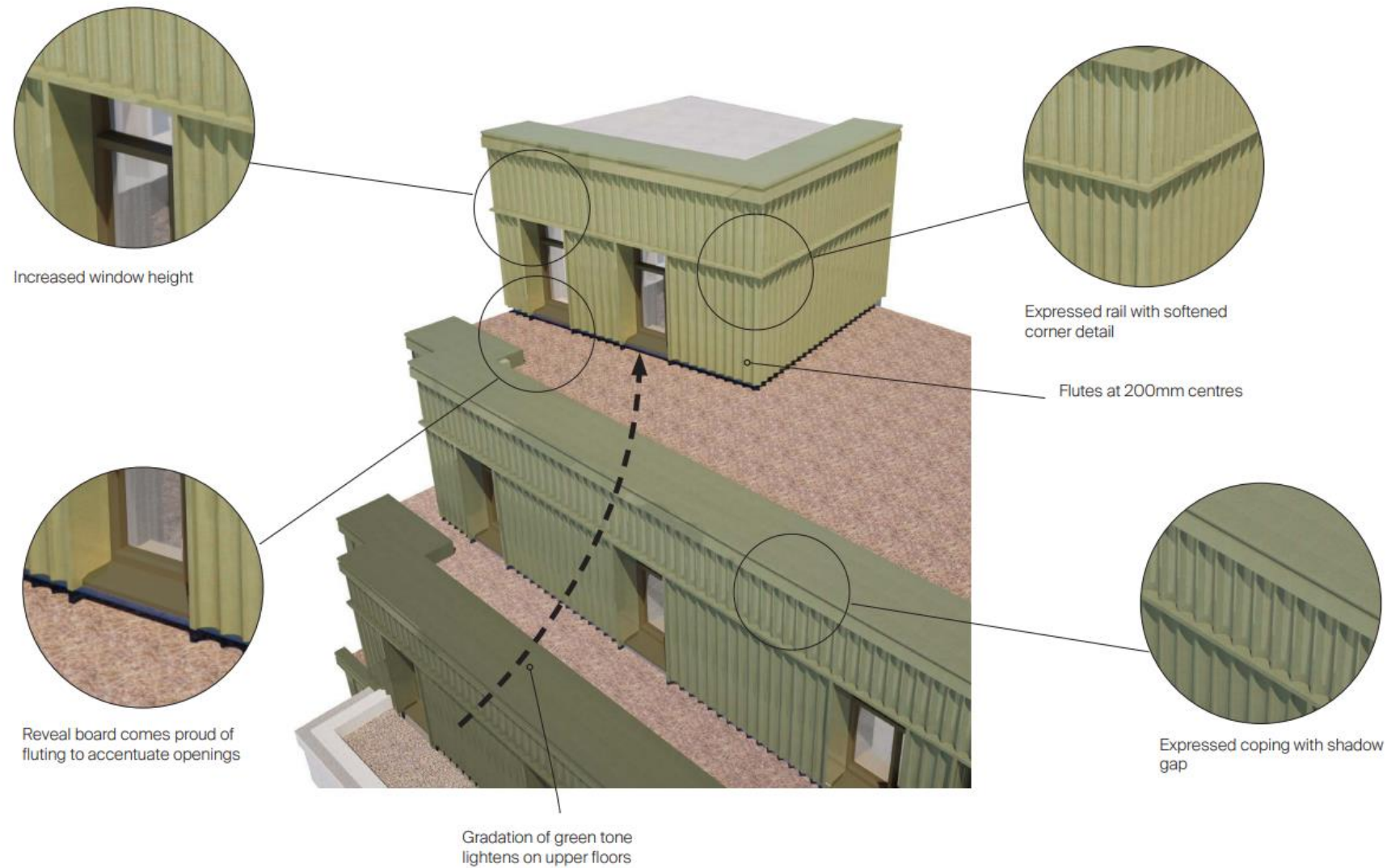
On the lower floors rustication on the horizontal spandrel panels provides more depth and texture to the facade.

This architectural detailing has also been used around the Juliette balconies on levels 1, 2 and 3.

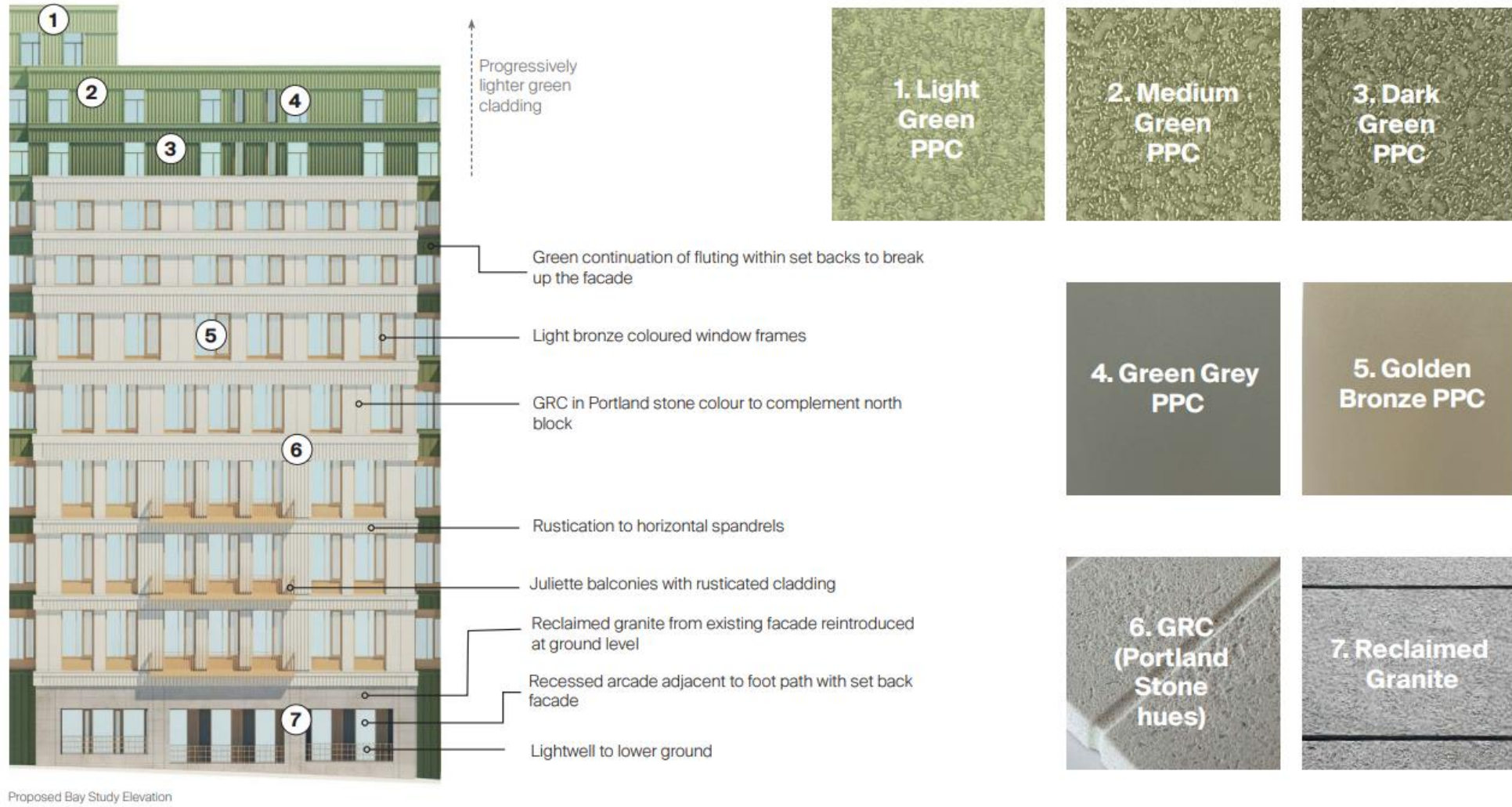
The golden beach toned window frames remain for the floor levels with GRC proposed.

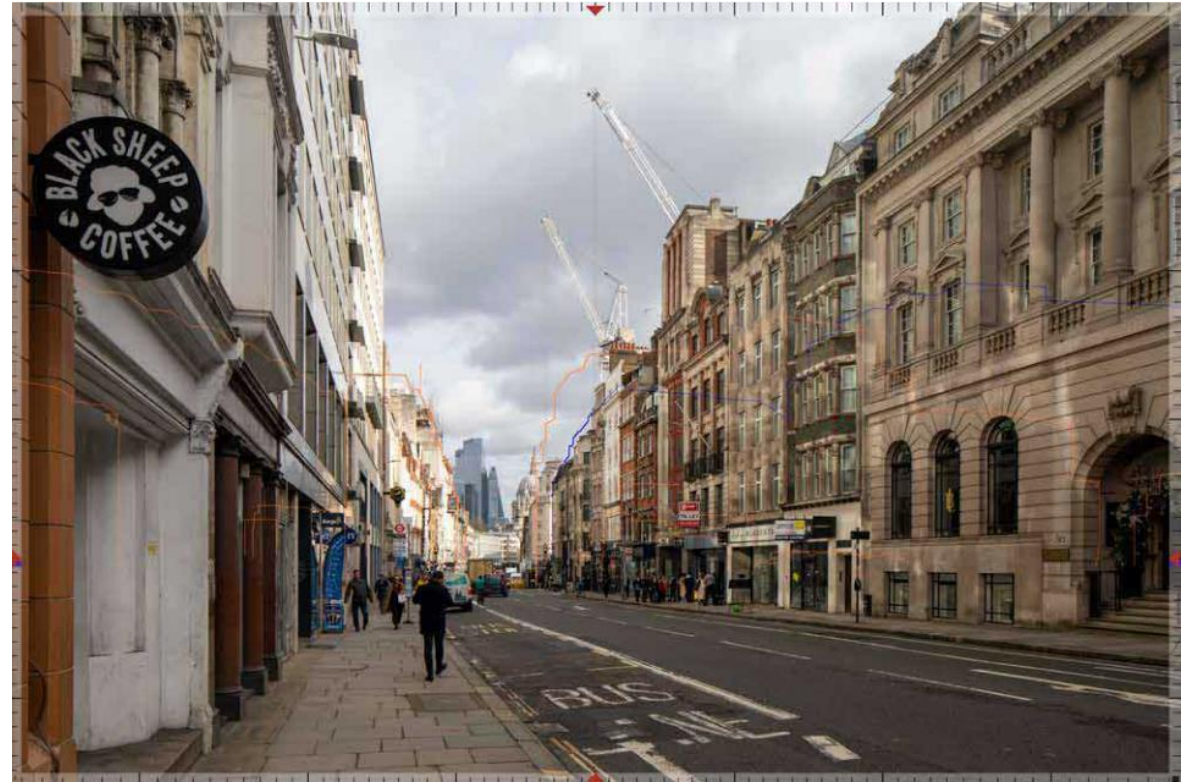
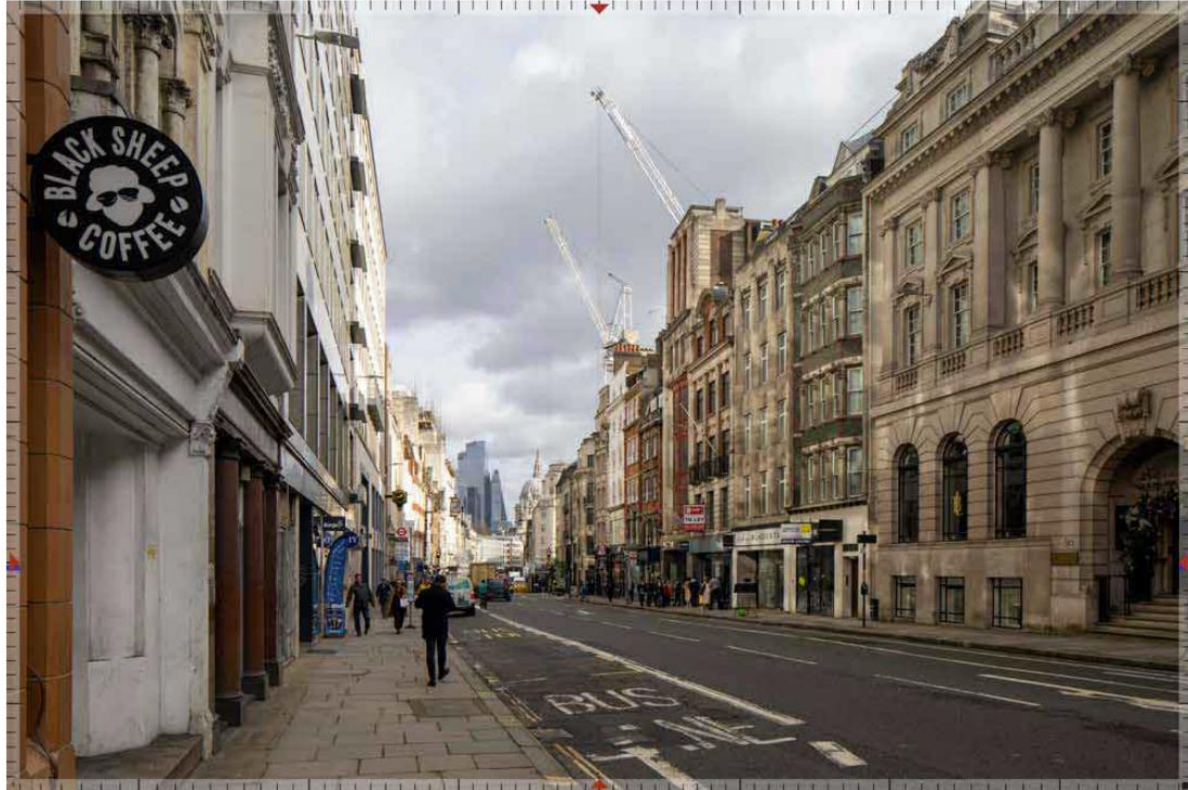






Façade detailing





Existing and Proposed : Fleet Street, eastern side of junction with Fetter Lane



Existing and Proposed Cumulative : Fleet Street, adjacent to St. Dunstan's Court



**Existing and Proposed : Fleet Street, at Bouverie House**



Existing and Proposed : Fleet Street, at Hind Court

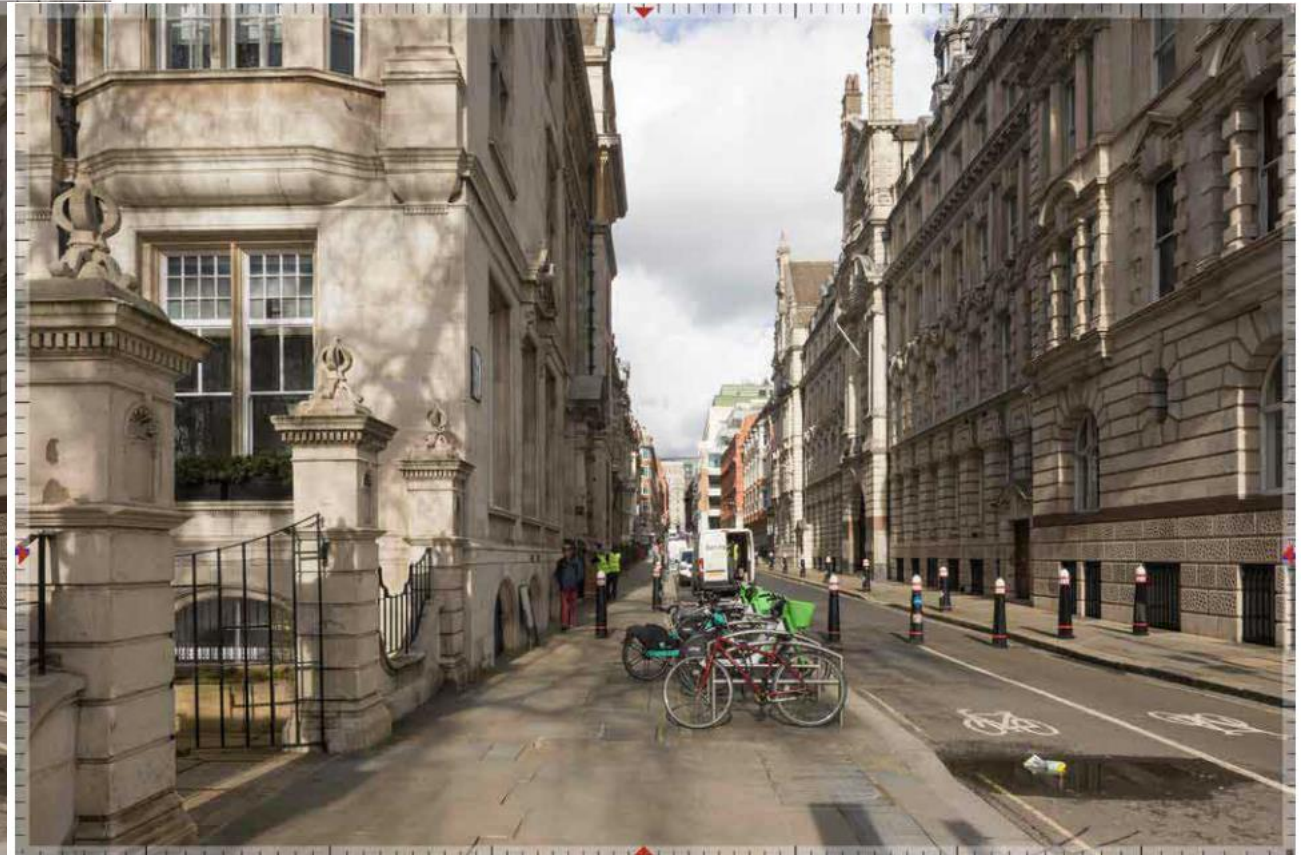


Existing and Proposed Cumulative : Fleet Street, adjacent to No. 130

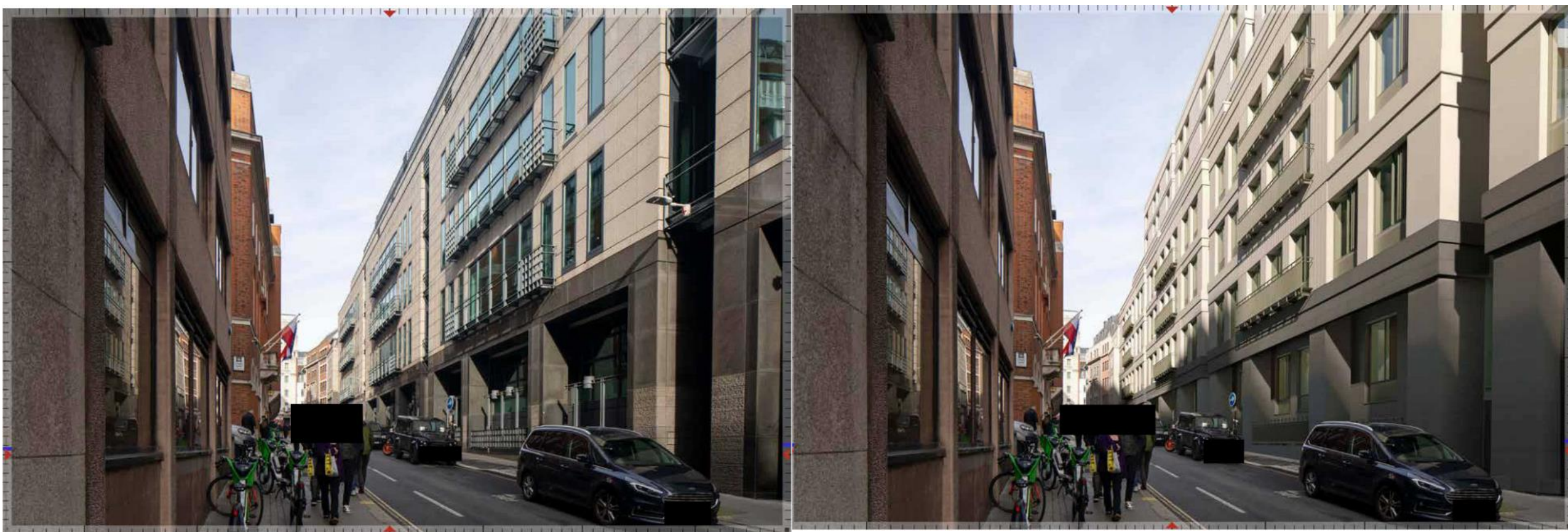


Existing and Proposed : Whitefriars Street, north of Tudor Street





Existing and Proposed : Temple Avenue, at Victoria Embankment



Existing and Proposed: Bouverie Street, north of Tudor St



Existing and Proposed : Temple Gardens



Existing: LVMF 15B.1 – Waterloo Bridge: close to Westminster Bank



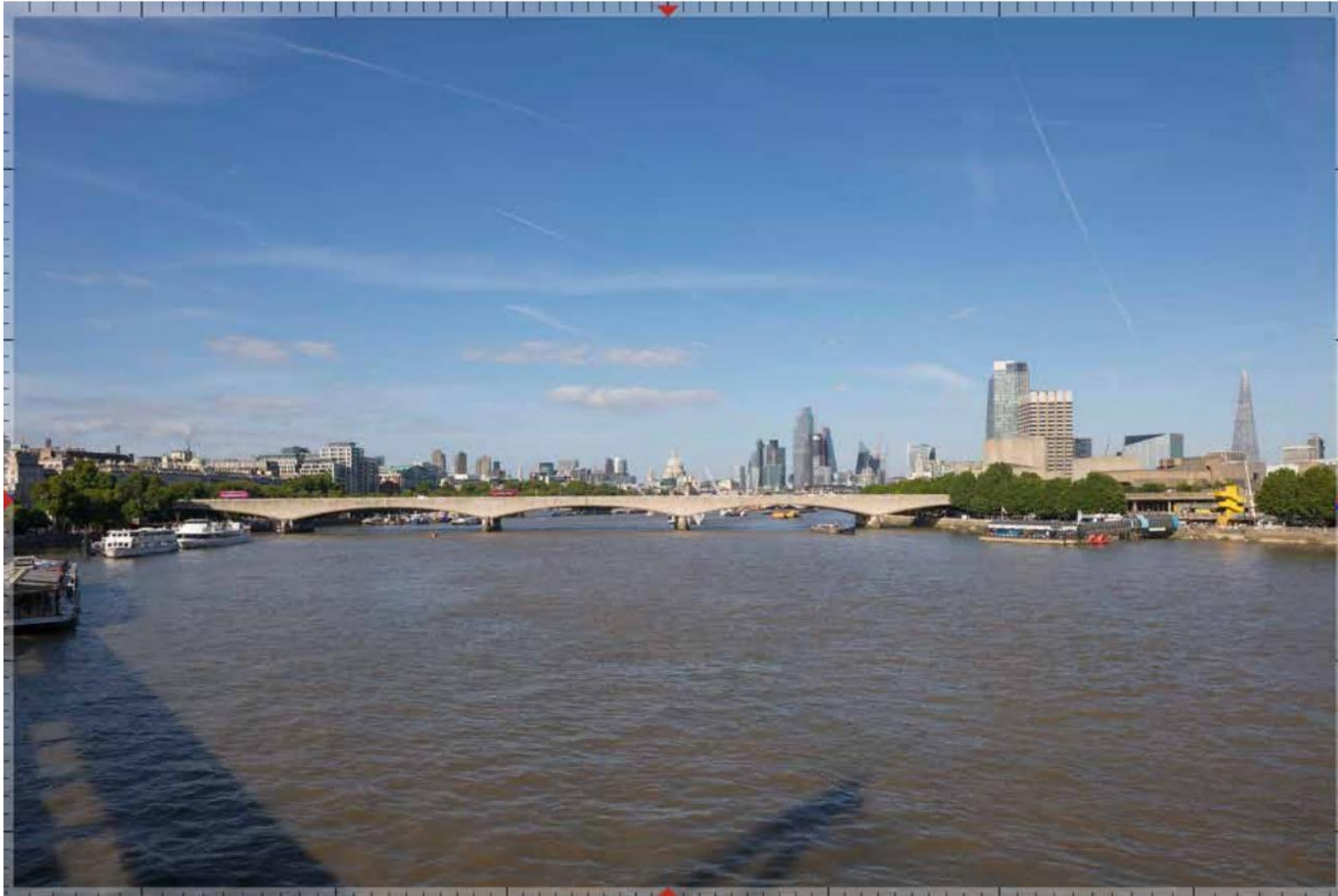
Proposed and cumulative LVMF View 15B.1 – Waterloo Bridge close to the Westminster Bank with approved 19/00058/FULMAJ in yellow



**Existing: LVMF 15B.2 – Waterloo Bridge: downstream – at the centre of the bridge**

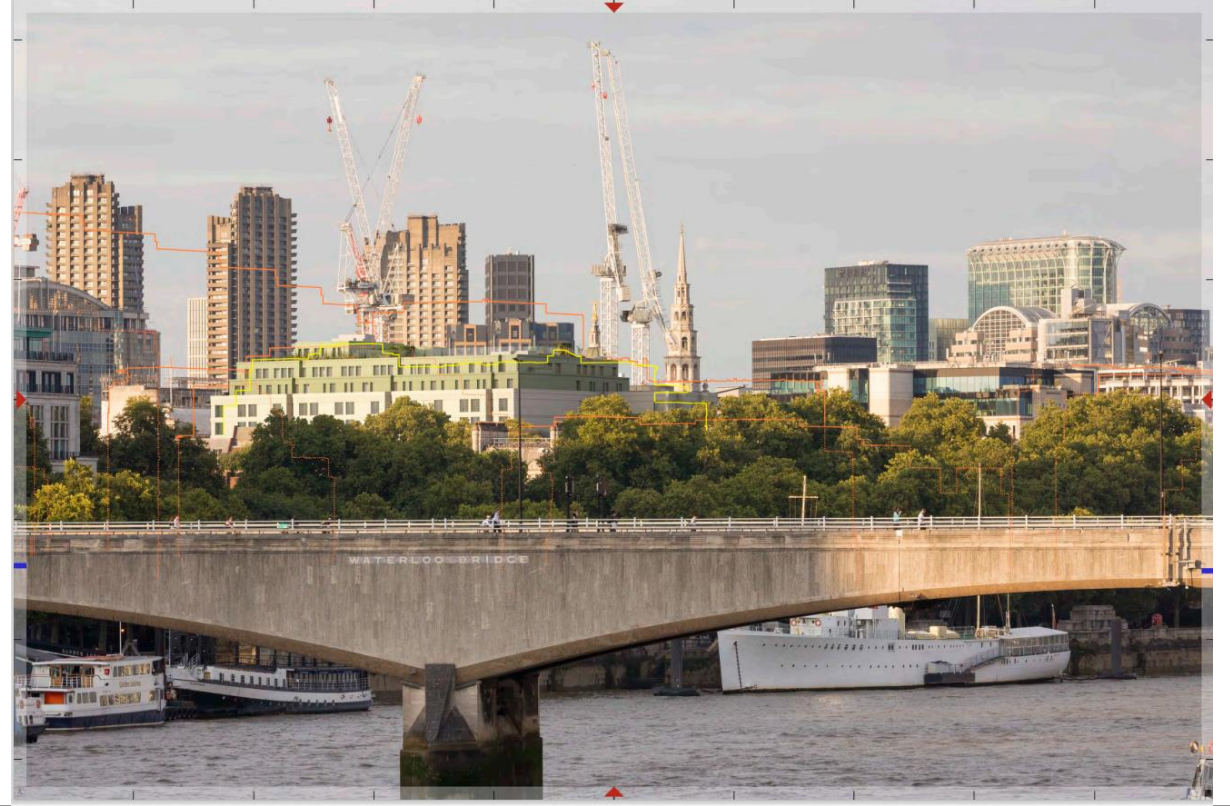


**Existing and Proposed cumulative : LVMF 15B.2 – Waterloo Bridge: downstream – at the centre of the bridge (Zoom)**



**Existing: 17B.1 Golden Jubilee/Hungerford Footbridges**





**Proposed and cumulative 17B.1 Golden Jubilee/Hungerford Footbridges: (Zoom) with approved application 19/00058/FULMAJ in yellow**



**Existing: 17B.2 Golden Jubilee/Hungerford Footbridges**



Proposed and cumulative 17B.2 Golden Jubilee/Hungerford Footbridges

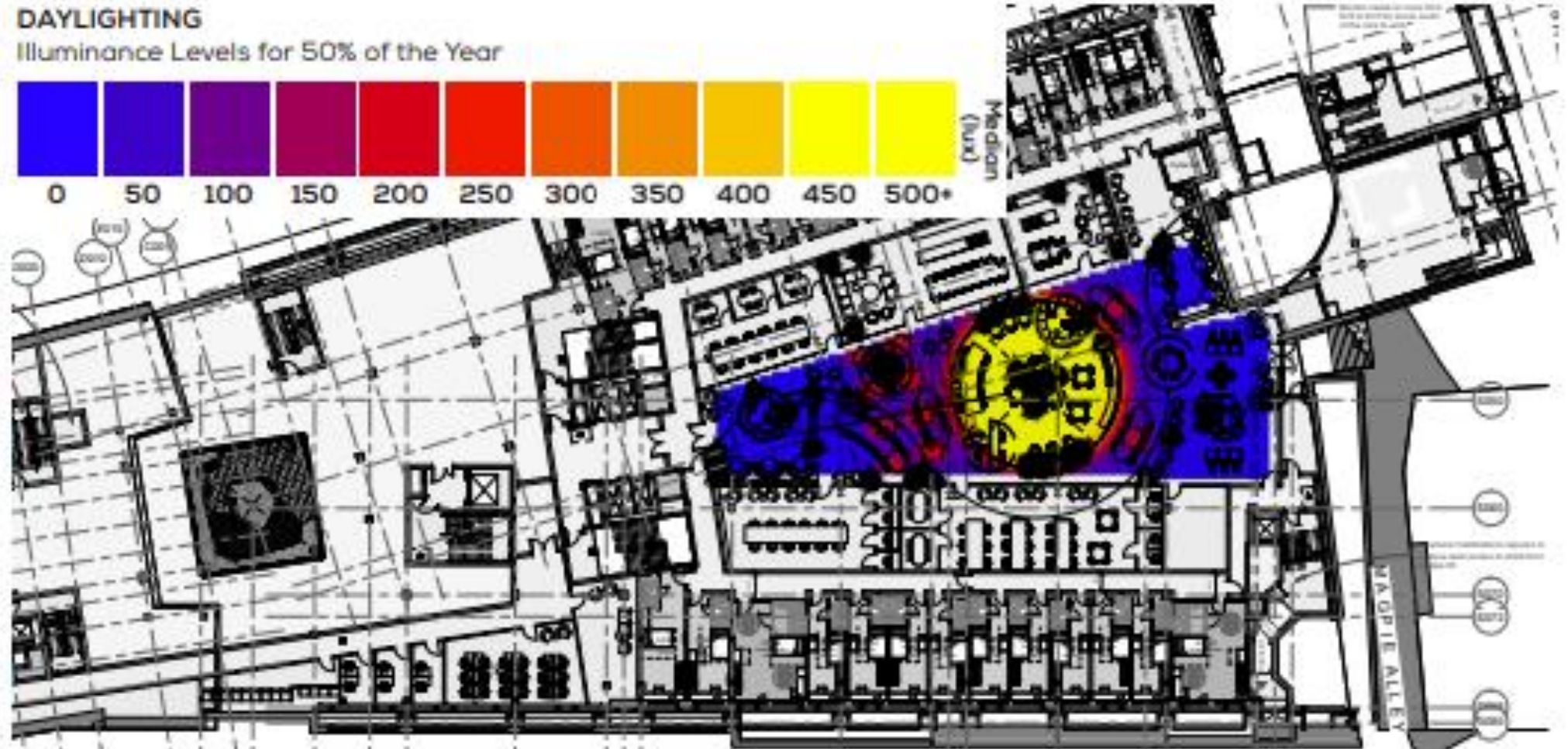


Fig. 03: Median Point Illuminance level within the main Shared Amenity Area at Lower Ground

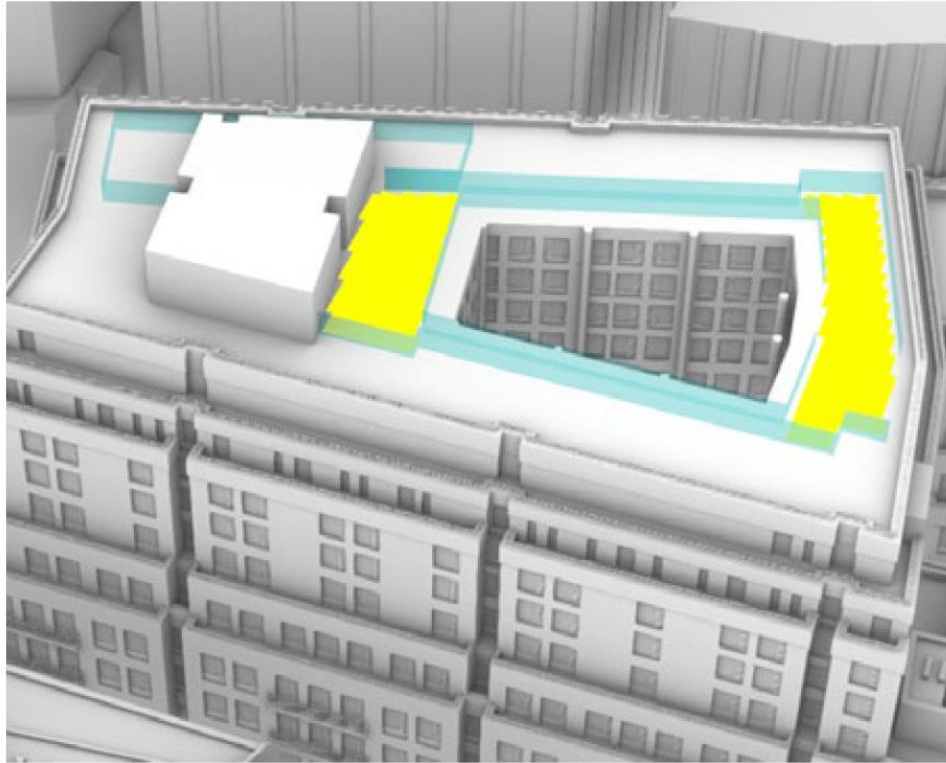


Fig. 04: Roof Terrace Sun Exposure - March

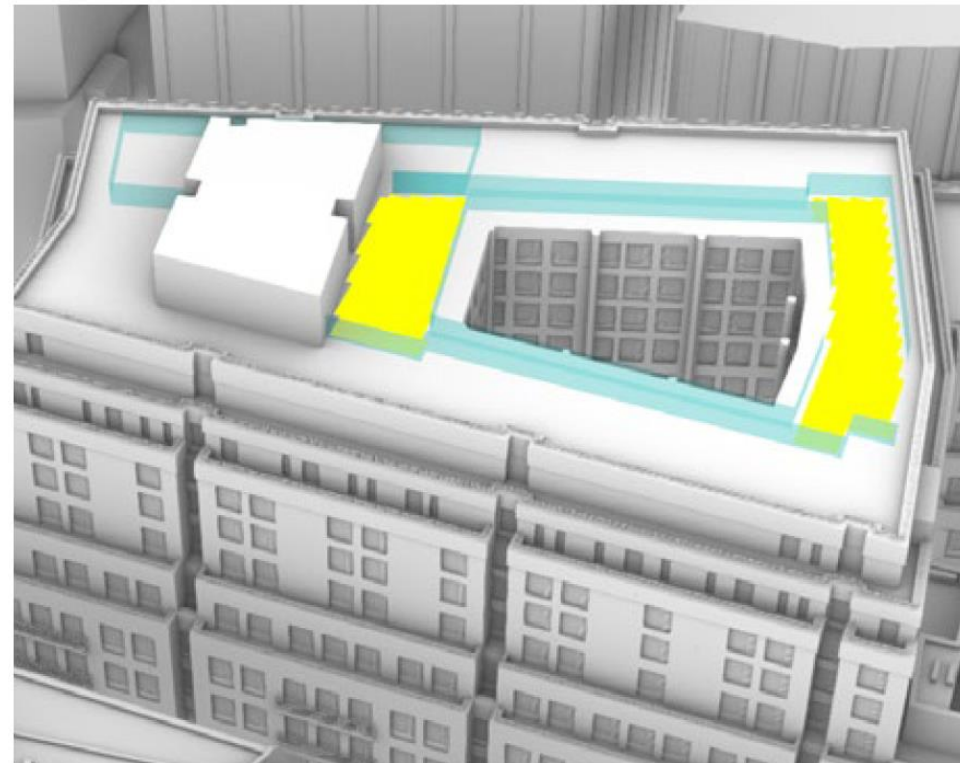


Fig. 05: Roof Terrace Sun Exposure - June

SUN EXPOSURE  
TOTAL HOURS



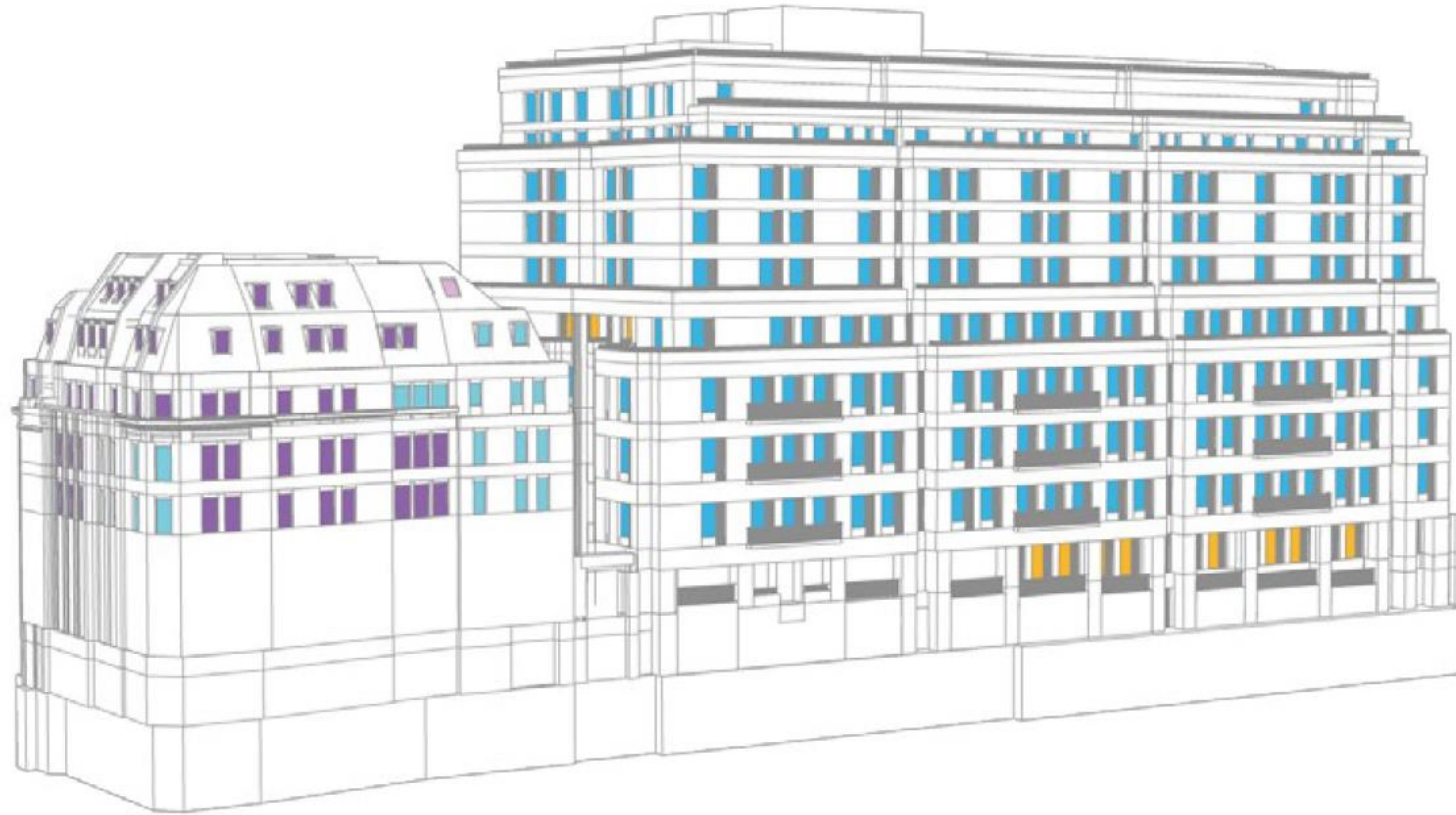
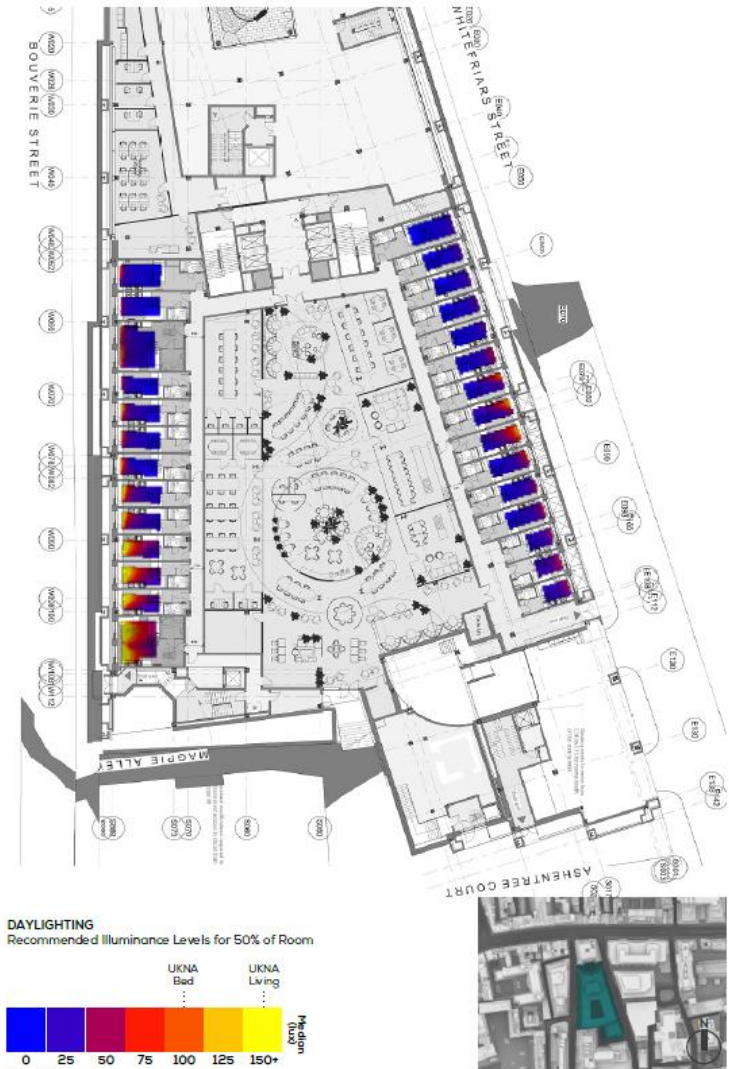
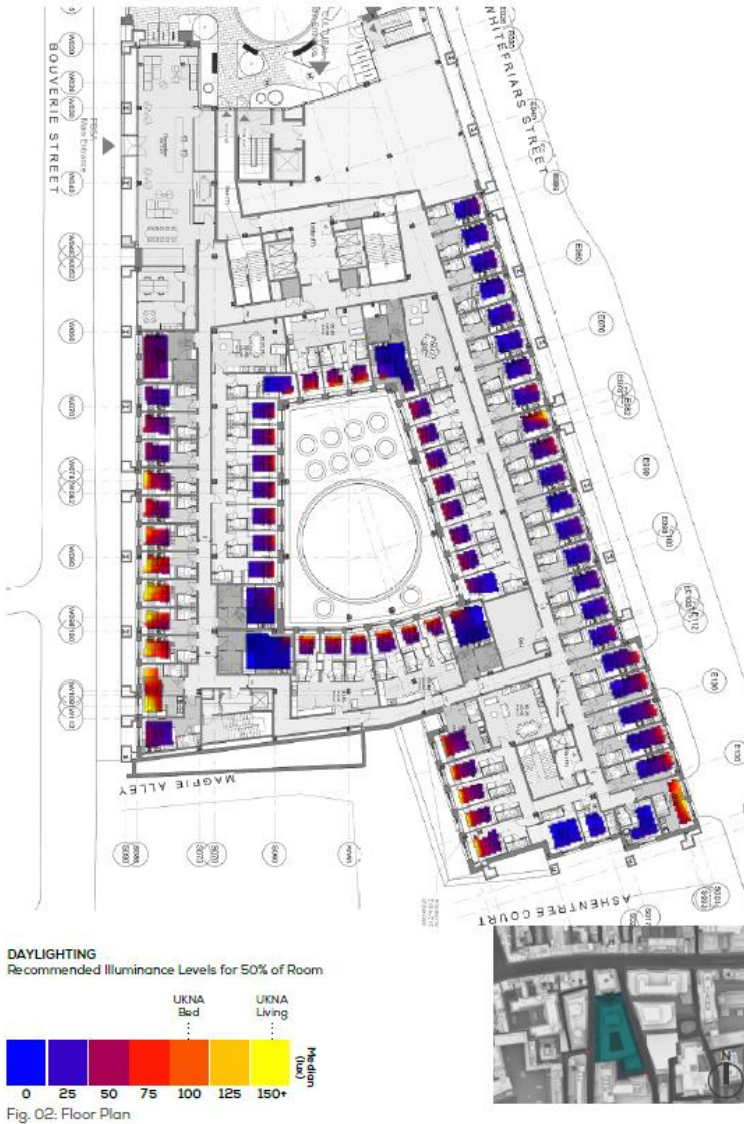


Fig. 09: North-west view - Plot\_1

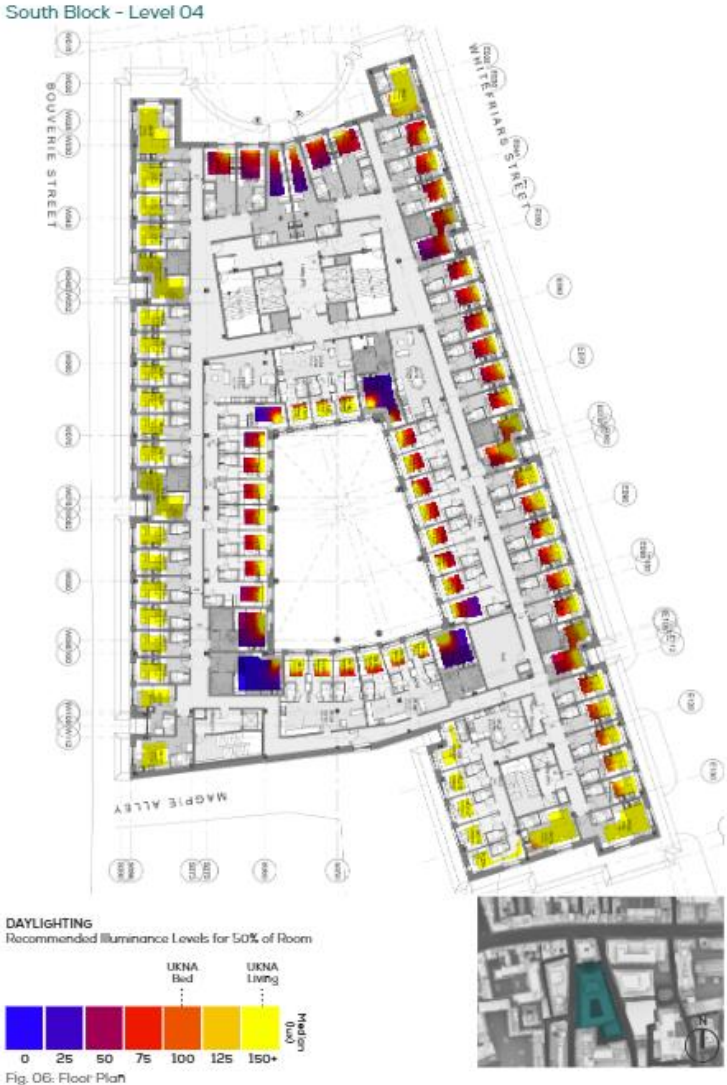
South Block - Level LG



South Block - Level 00



## Levels LG and 00 – Light Performance (South Block)







**DAYLIGHTING**  
Recommended Illuminance Levels for 50% of Room

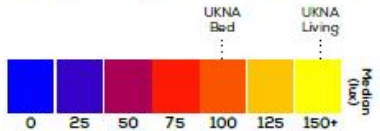


Fig. 12: Floor Plan



**Level 02 – Light Performance (North Block)**



DAYLIGHTING  
Recommended Illuminance Levels for 50% of Room

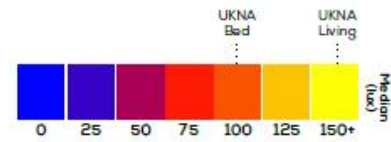
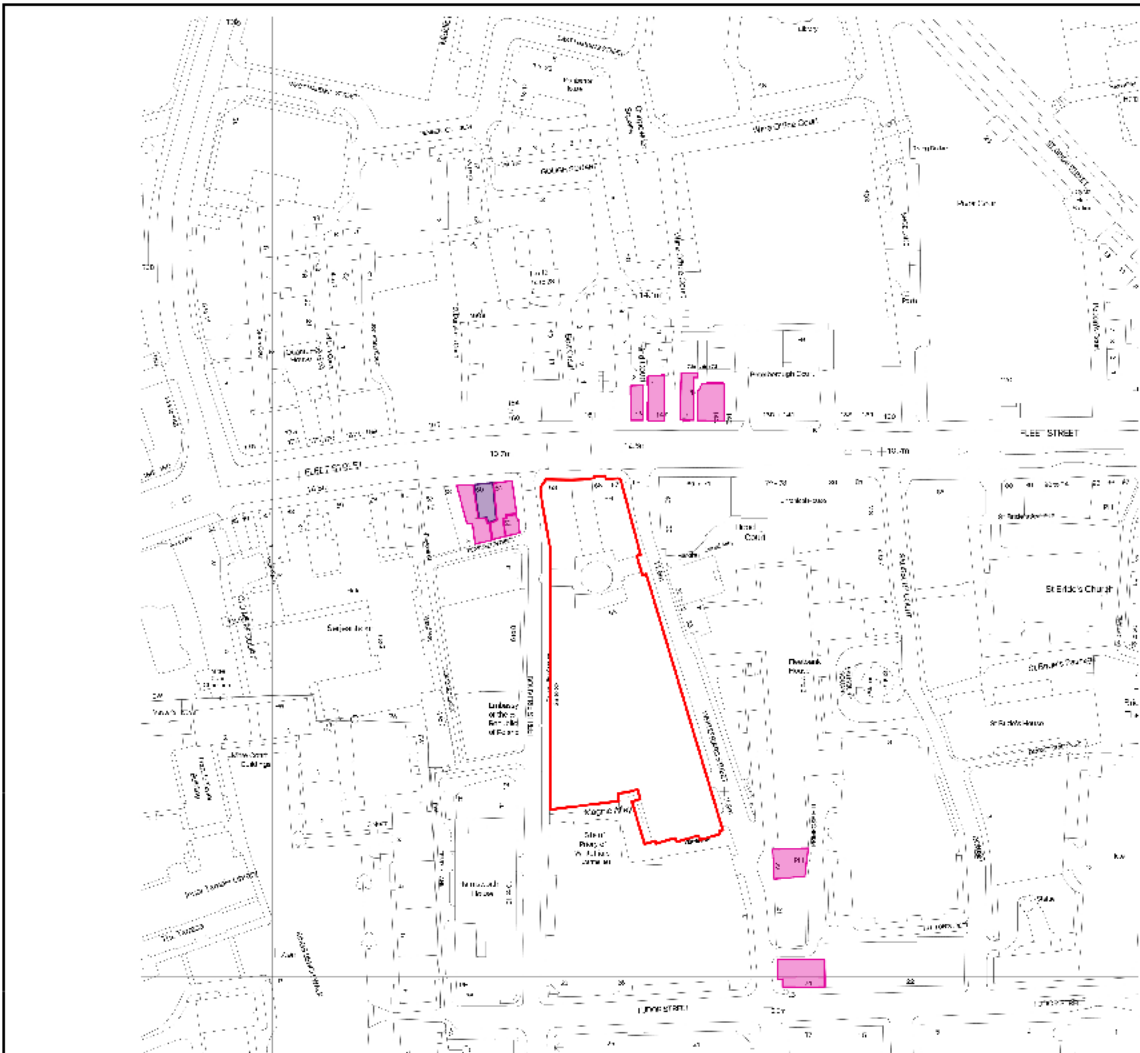


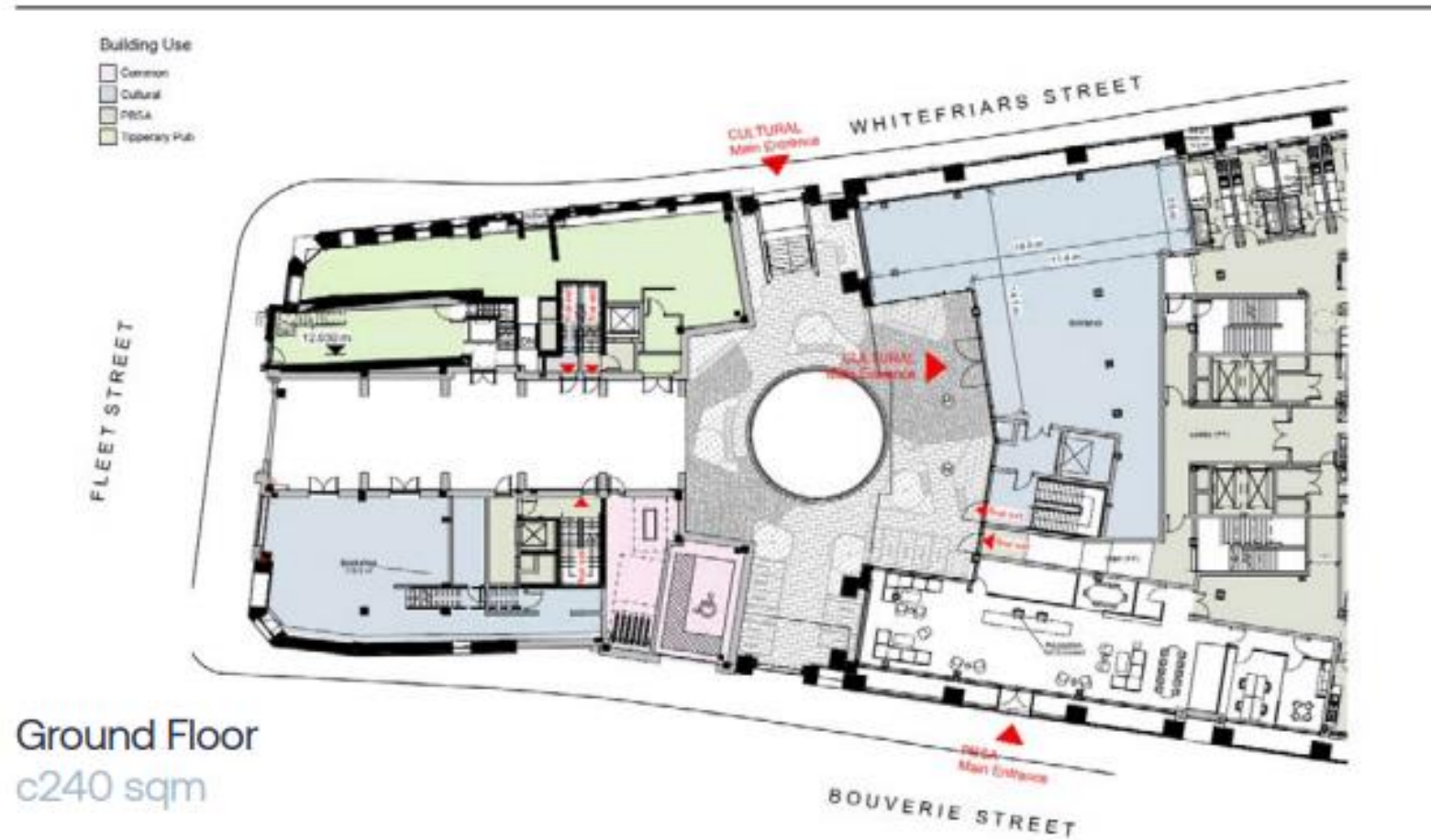
Fig. 16: Floor Plan

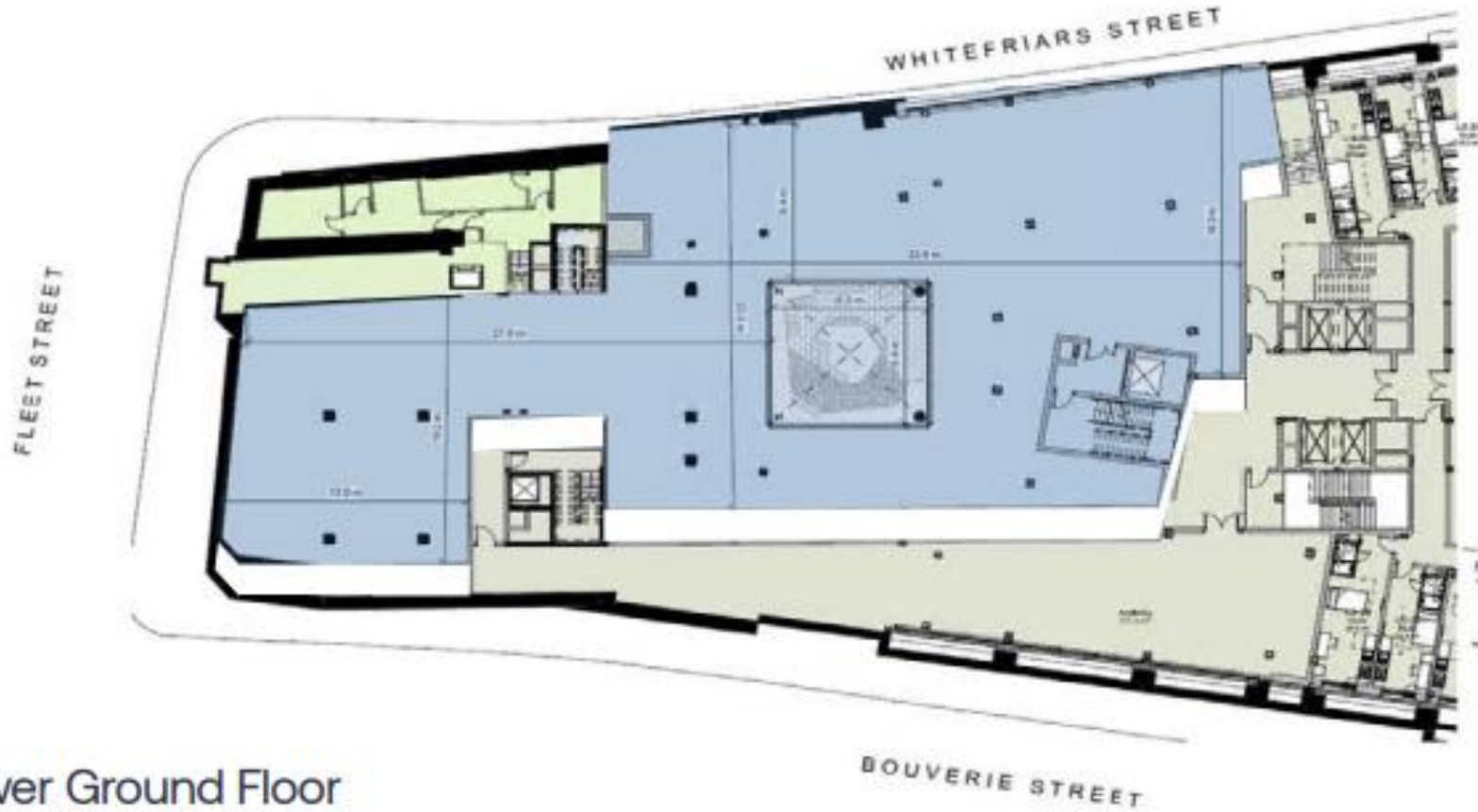


- Site Boundary
- Mixed Use
- No windows facing site

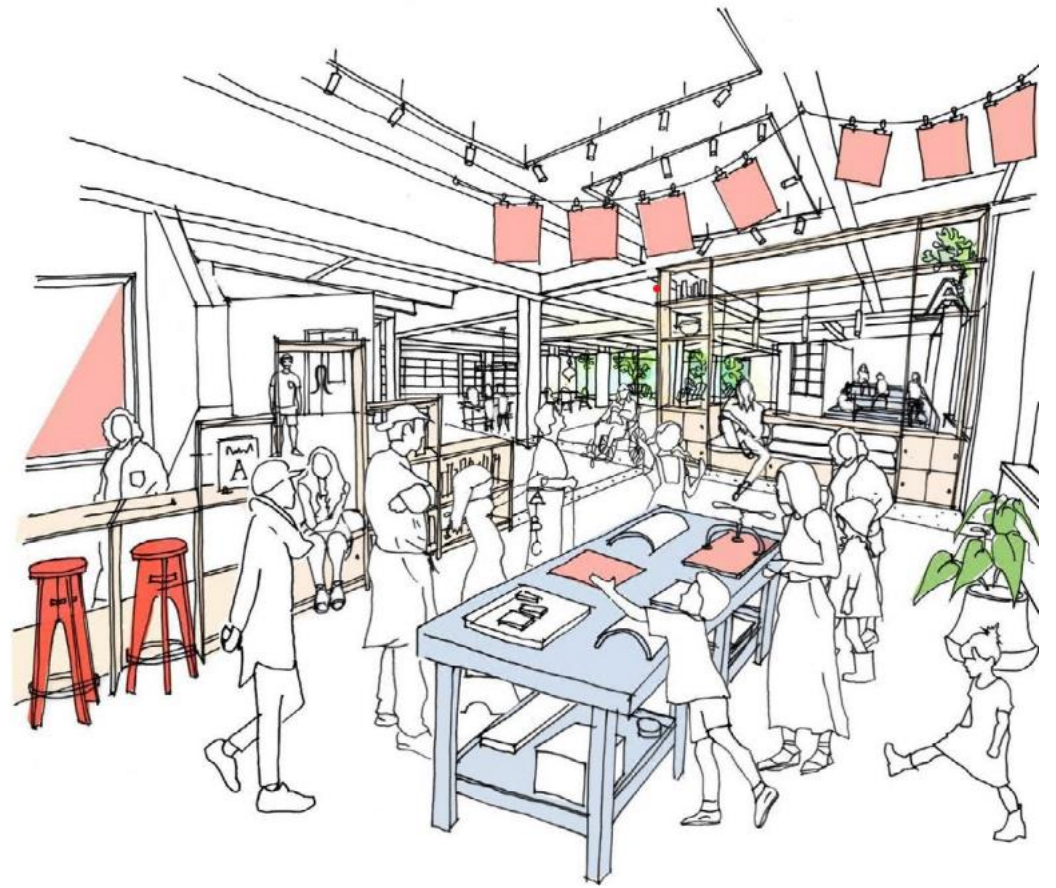
<b>Project:</b> 65 Fleet Street
<b>Title:</b> DS Receptors
<b>Project No:</b> 20505
<b>Date:</b> March 2024

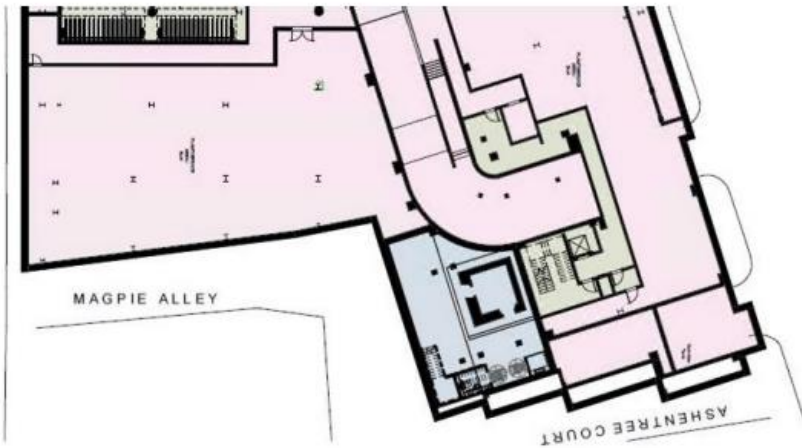
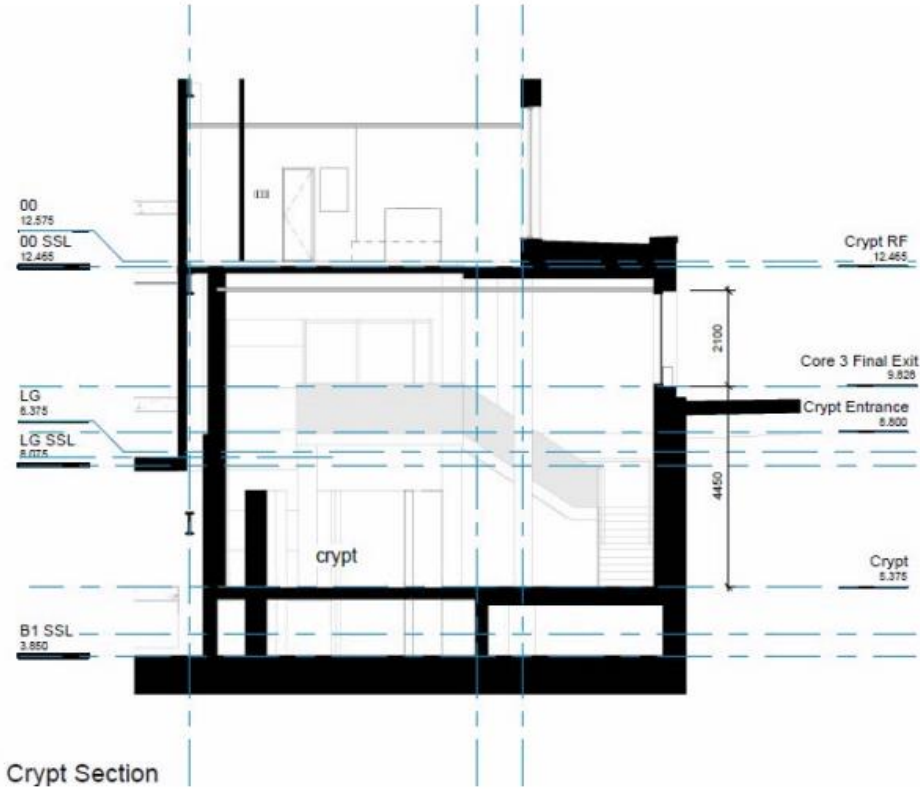
Map of Sensitive Light Receptors

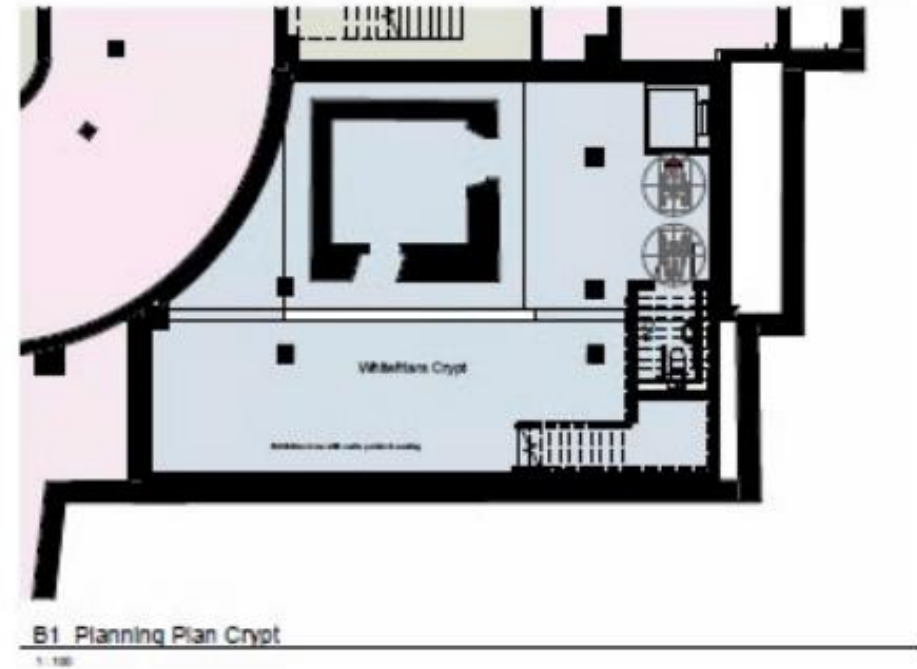
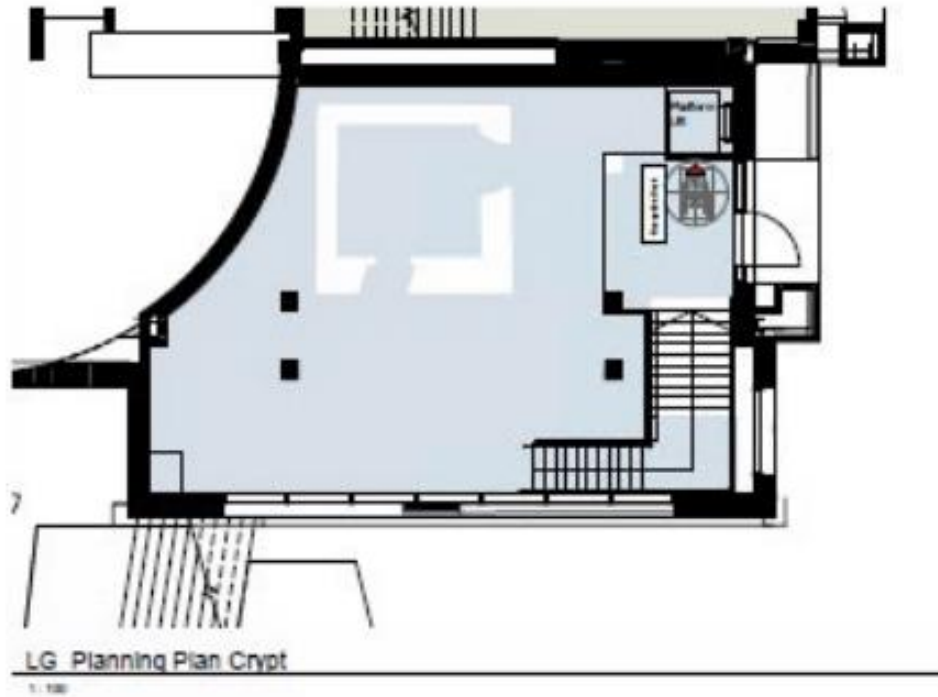




Lower Ground Floor  
c900 sqm









## 10.06 Proposed Crypt Enclosure

### Key

1. Crypt Entrance
2. CLT Fitch column
3. Brass handrail
4. Green Roof
5. Window and signage as focal point visible from Bouverie Street
6. Reclaimed textured granite
7. Reclaimed dark grey granite



## 10.07 Proposed view from Magpie Alley

### Key

1. Crypt Entrance
2. CLT Fitch column
3. Brass handrail
4. Green Roof
5. Window and signage as focal point visible from Bouverie Street
6. Reclaimed textured granite
7. Reclaimed dark grey granite

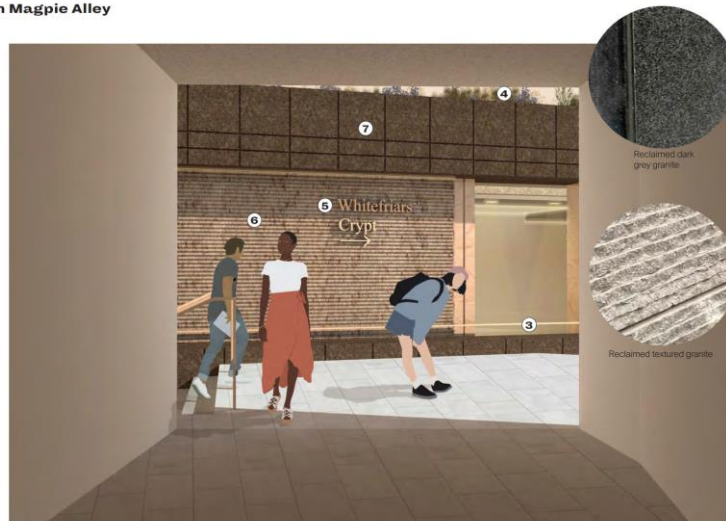
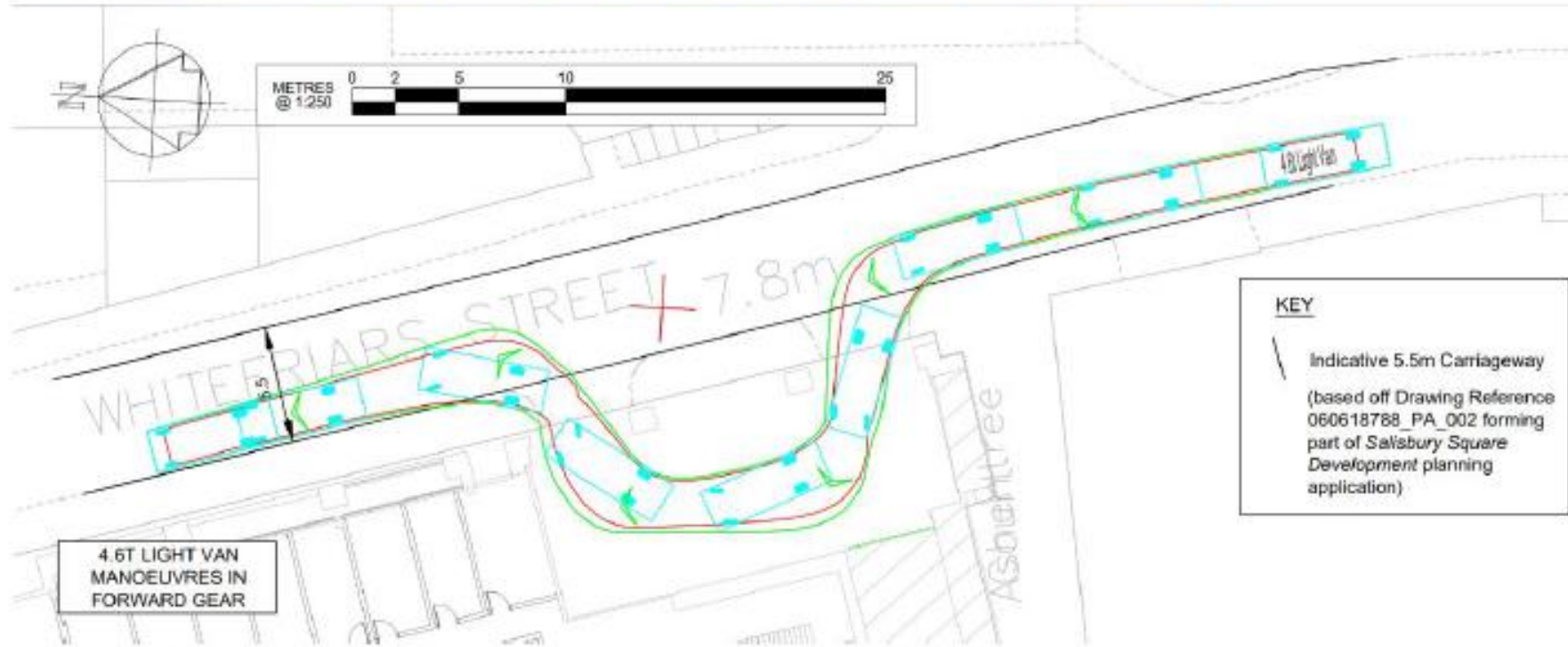




Figure 4-1: Swept Path Analysis – 4.6t van enters and exits loading bay in forward gear

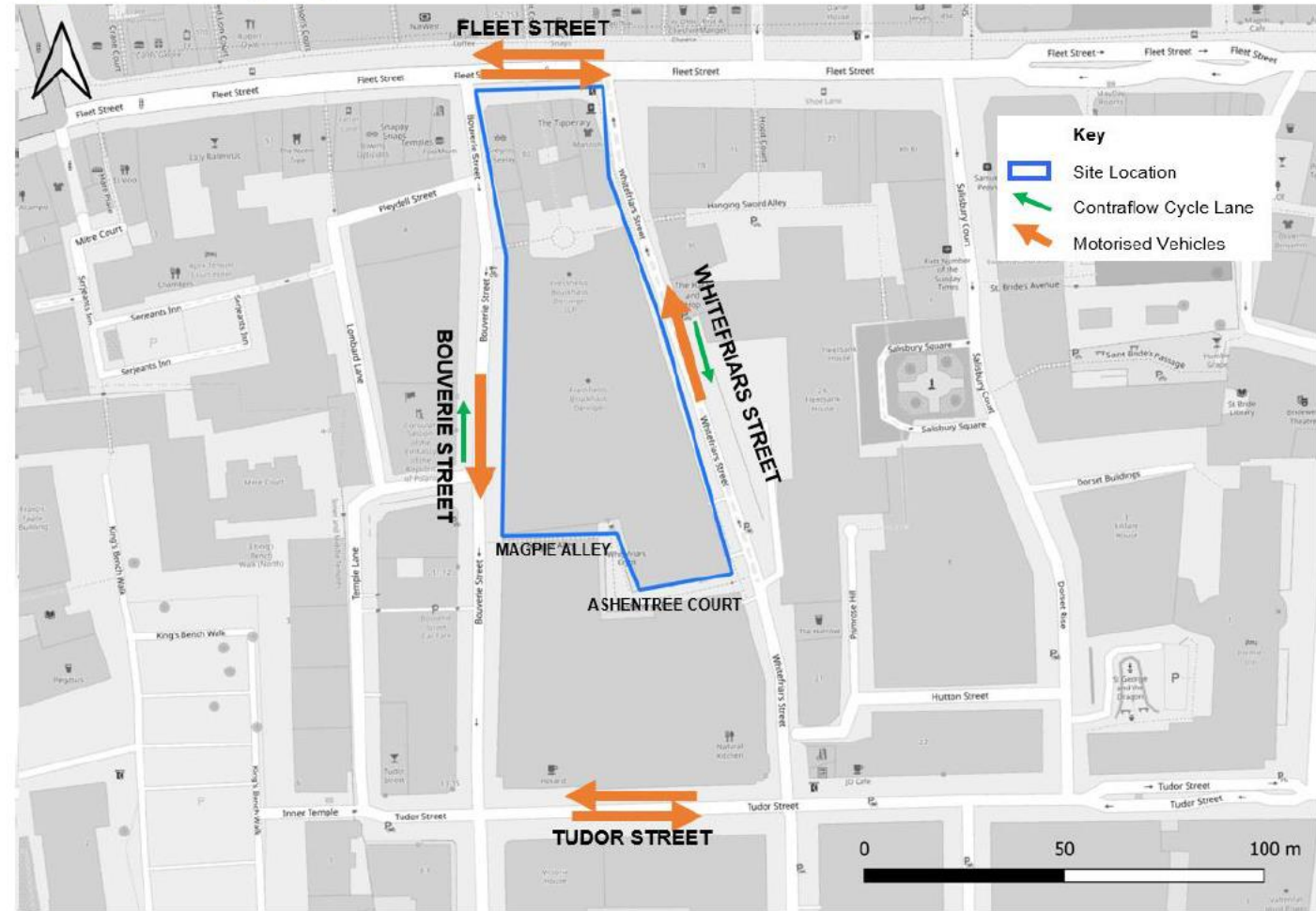


Source: Pell Frischmann.

# 65 Fleet Street, London, EC4Y 1HT

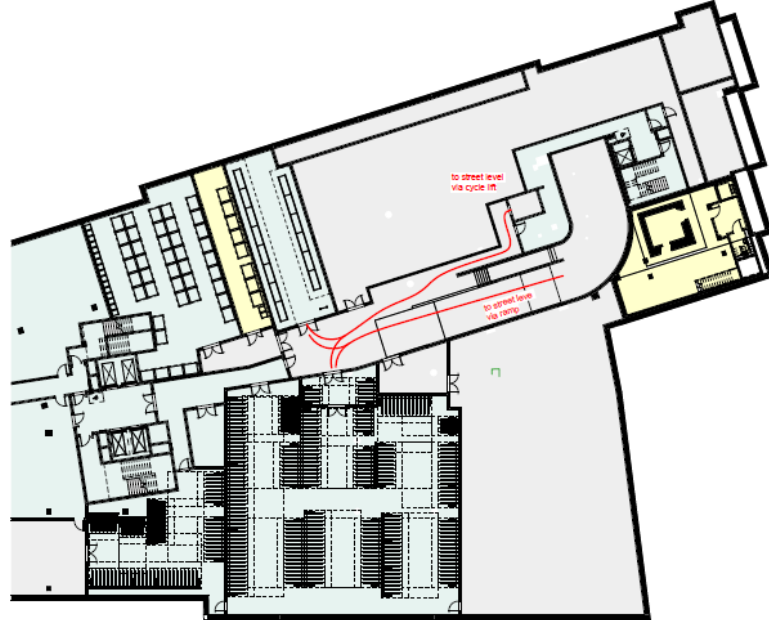
3.1.1 The highway surrounding the Site, when in full operation, illustrated in Figure 3-1.

Figure 3-1: Local highway network

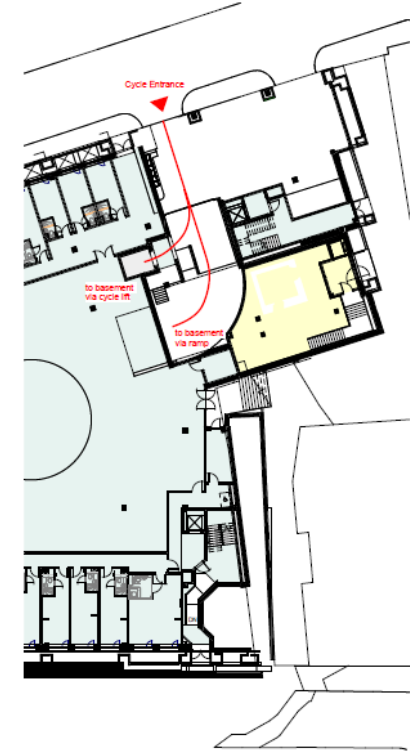


Source: OpenStreetMap with Pell Frischmann annotations

CDM 2015 Health & Safety Information  
 This information relates only to significant hazards identified at this drawing and does not relate to construction with this drawing's date Amendment 00/01/16



Basement Plan  
1:200



Lower Ground Floor Plan  
1:200

Client Name  
**Dominus**

Site Name  
**65 Fleet Street London**

Drawing Title  
**Cycle Store Access**

Scale  
Scale 1:200 (A1)

Code	Contract	Date
RG	--	16.10.24
W0863	WW ZZ SK A SK.132	90 PD2

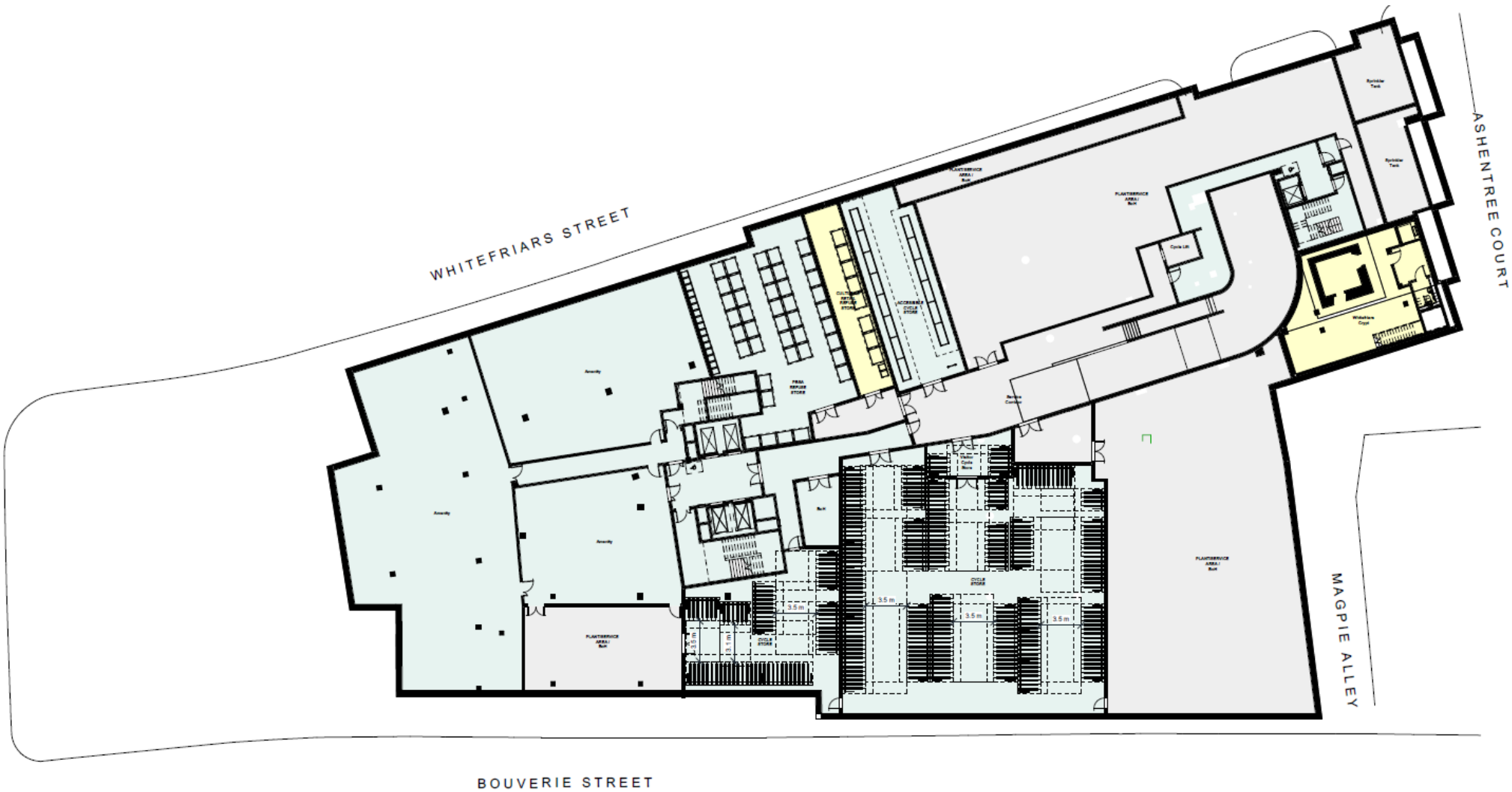
STATUS  
**PRELIMINARY**

PROJ: 16.10.24 TOWER WORKING  
 PROJ: P002 MAIN  
 Rev: Date: Revision Details: Of: Ch

WESTWORKS  
 www.westworks.co.uk

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## Cycle Parking Plan



Cycle Parking Plan



Alley and courtyard visuals



Existing Fleet Street View



Proposed Fleet Street View

Fleet street existing and proposed



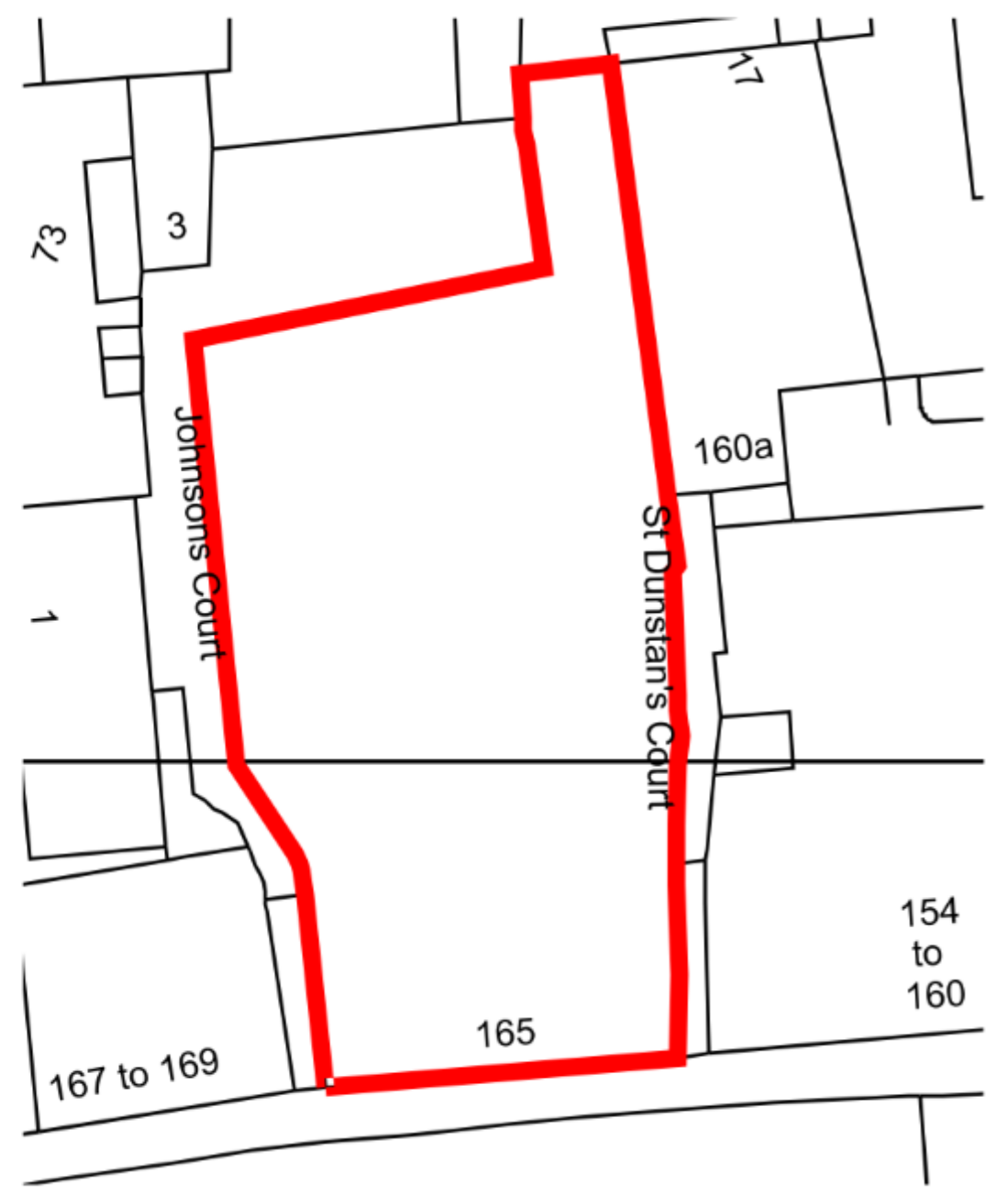


## **Next Planning Applications Sub-Committee 26 November**

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**165 Fleet Street**  
**Planning Applications Sub Committee**  
29<sup>th</sup> October 2024



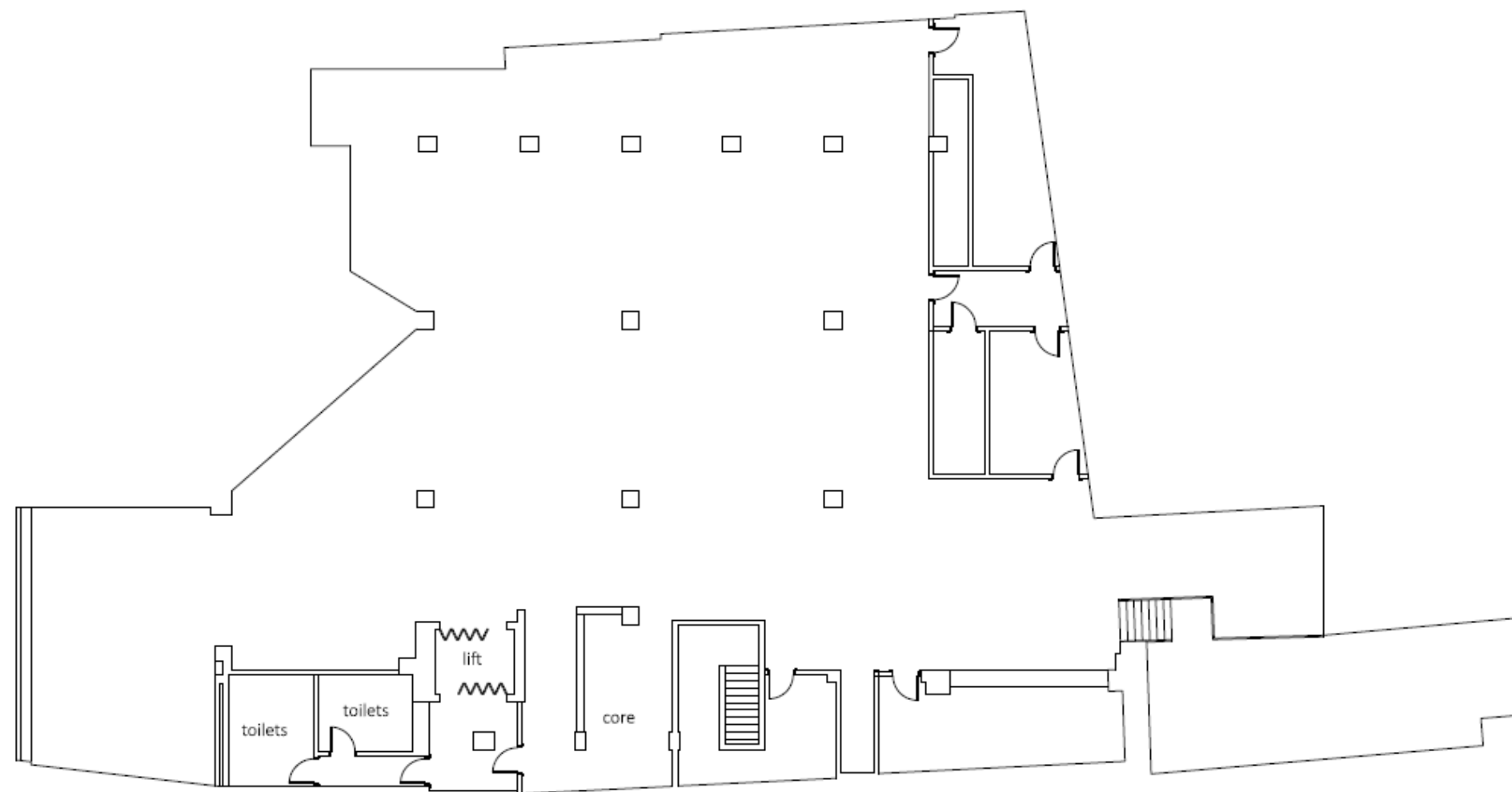
Site Location Plan



Existing Building – aerial view



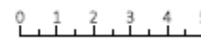
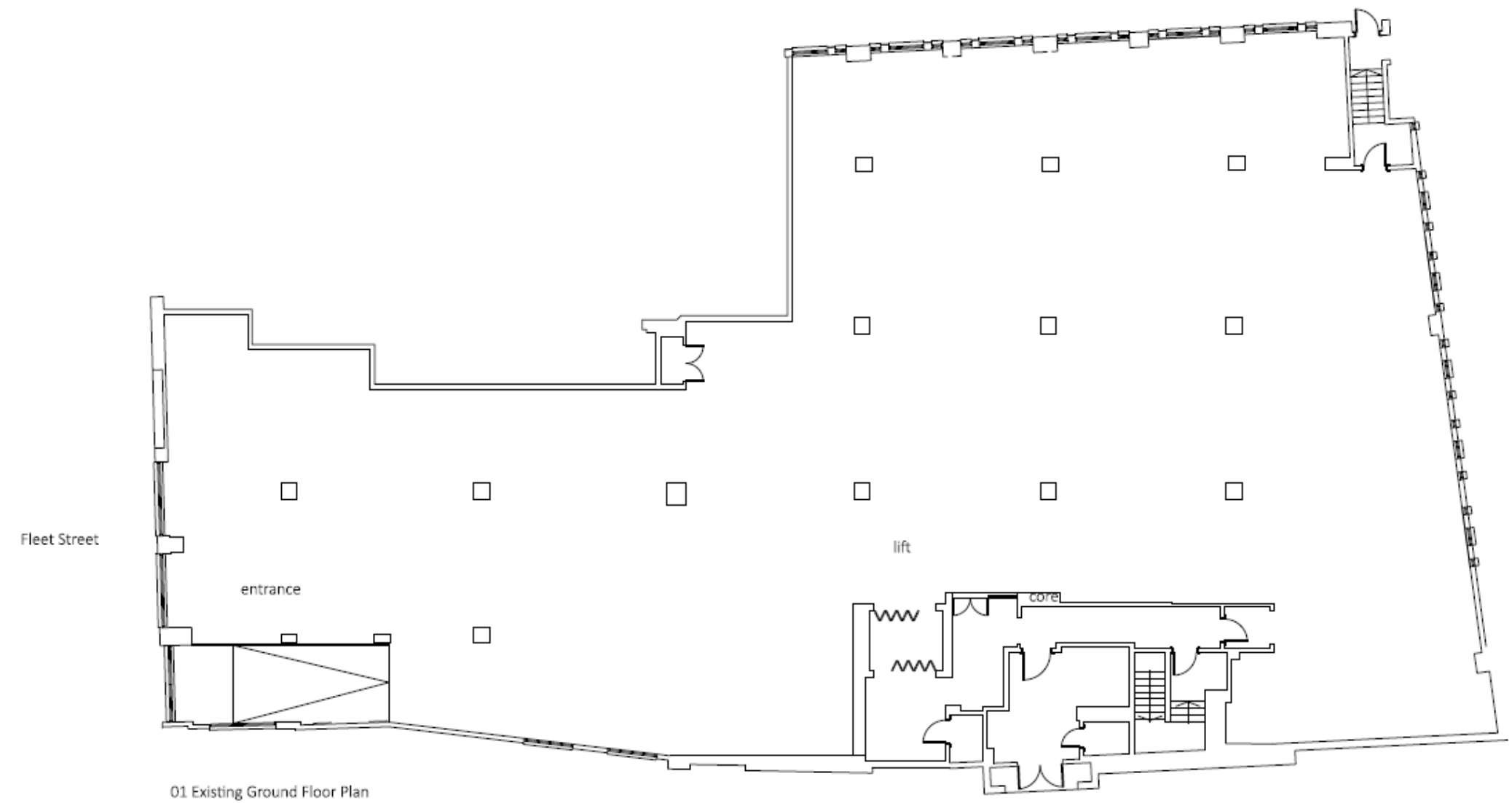
Existing Unit – Fleet Street elevation



01 Existing Basement Floor Plan

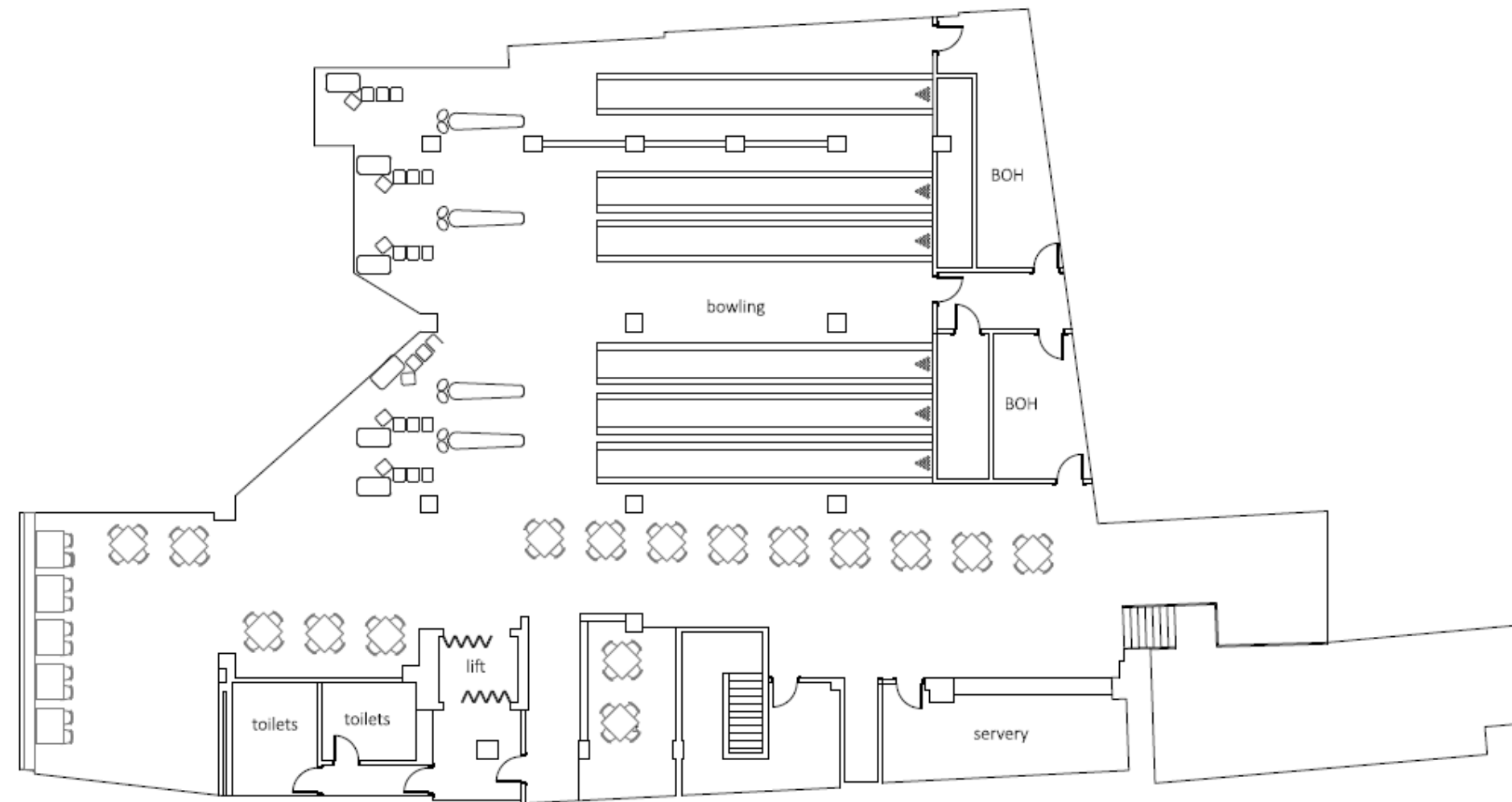
0 1 2 3 4 5

# Existing Basement Plan



# Existing Ground Floor Plan

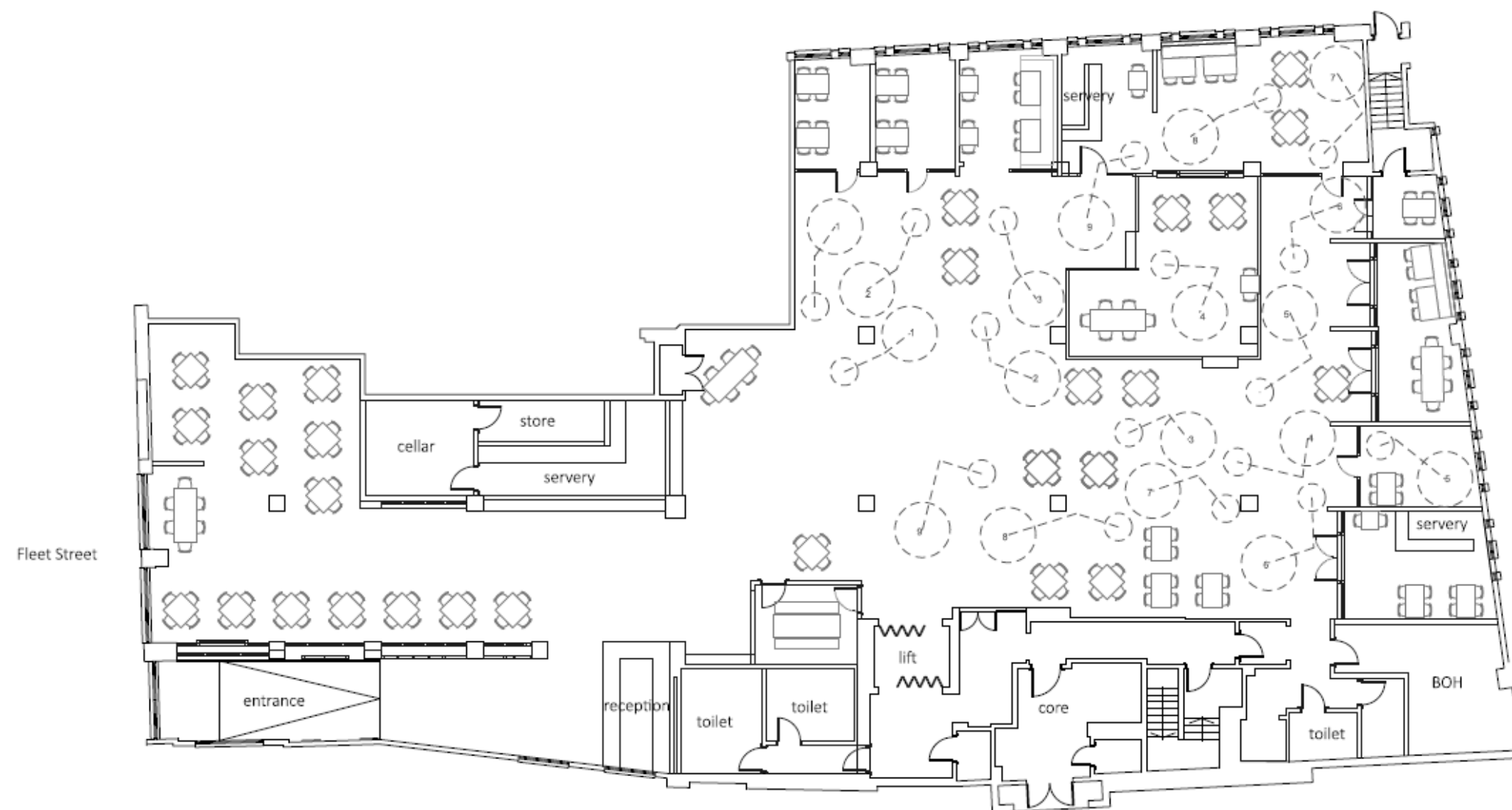




01 Proposed Basement Floor Plan

0 1 2 3 4 5  
Scale / m

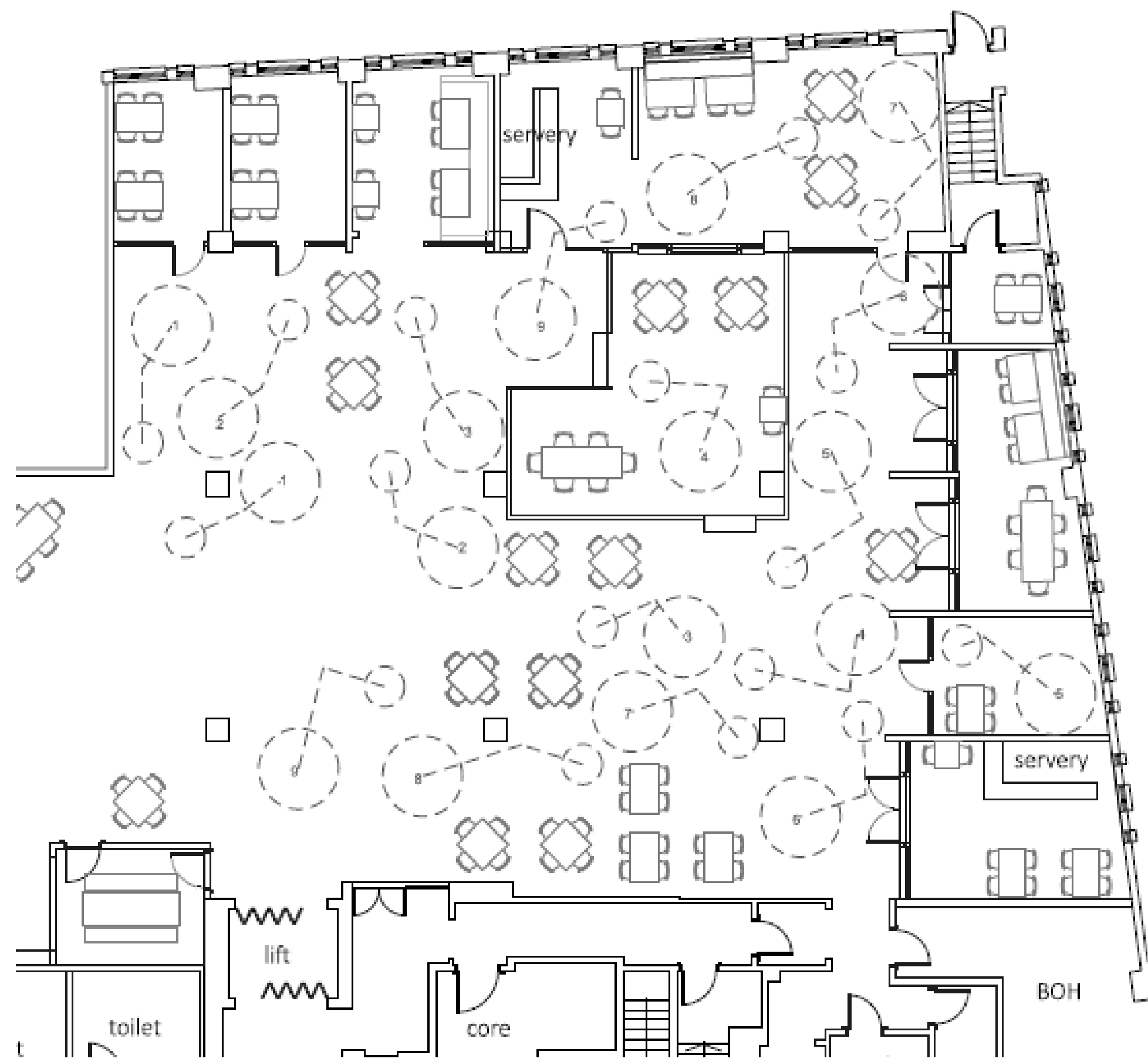
# Proposed Basement Plan – 10 Pin Bowling



01 Proposed Ground Floor Plan

0 1 2 3 4 5  
Scale / m

## Proposed Ground Floor – Themed Mini-golf



Mini-golf - Indicative Layout



Existing Unit – Fleet Street View East



Existing Unit – Fleet Street View West



West Elevation – Johnson's Court



Rear Elevation – Johnson's Court



East Elevation – St Dunstan's Court

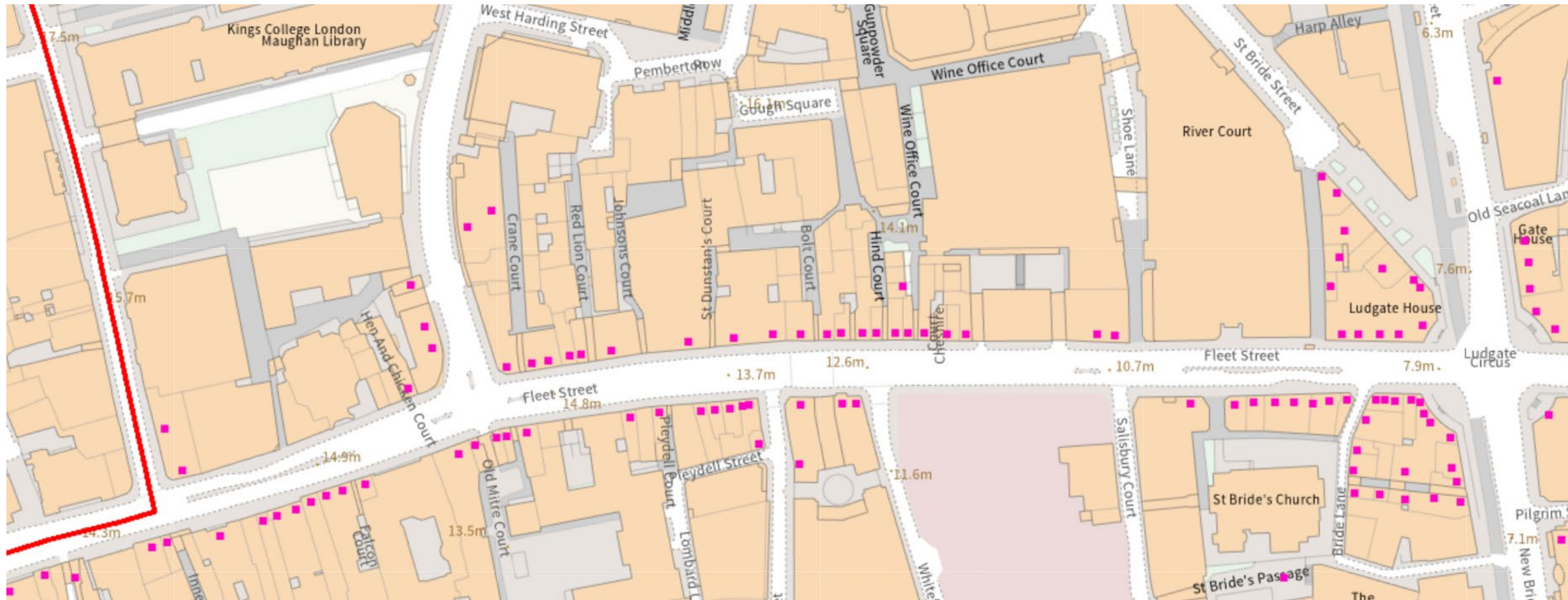




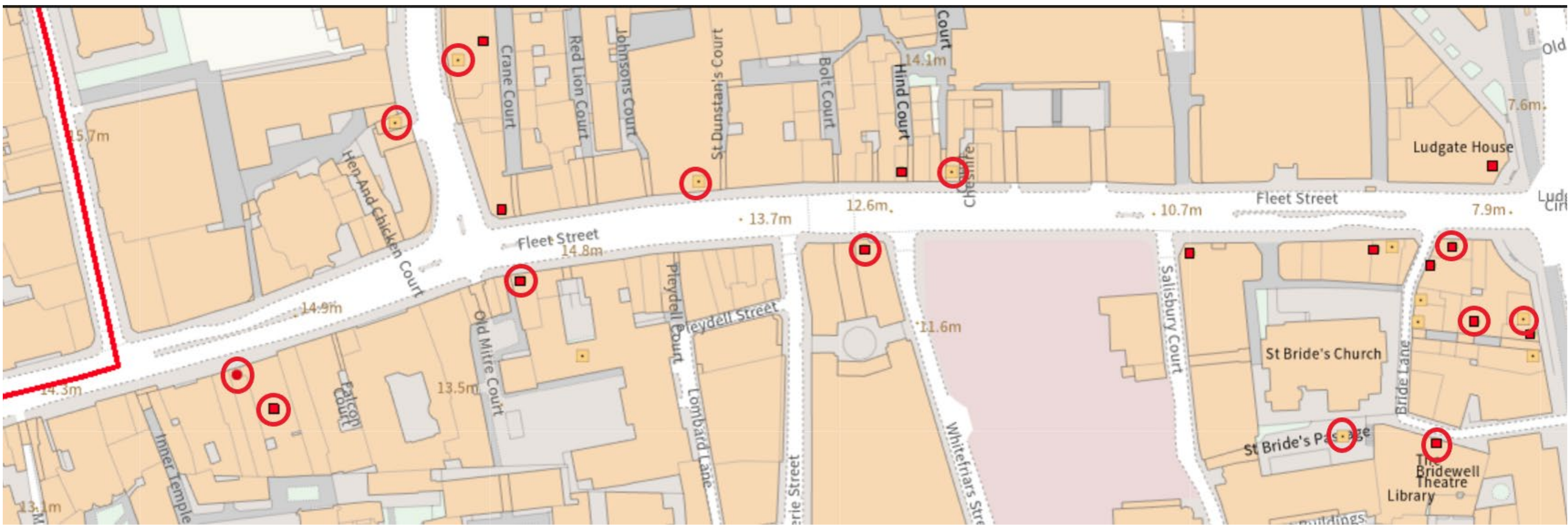
St Dunstan's Court view to Bolt Court



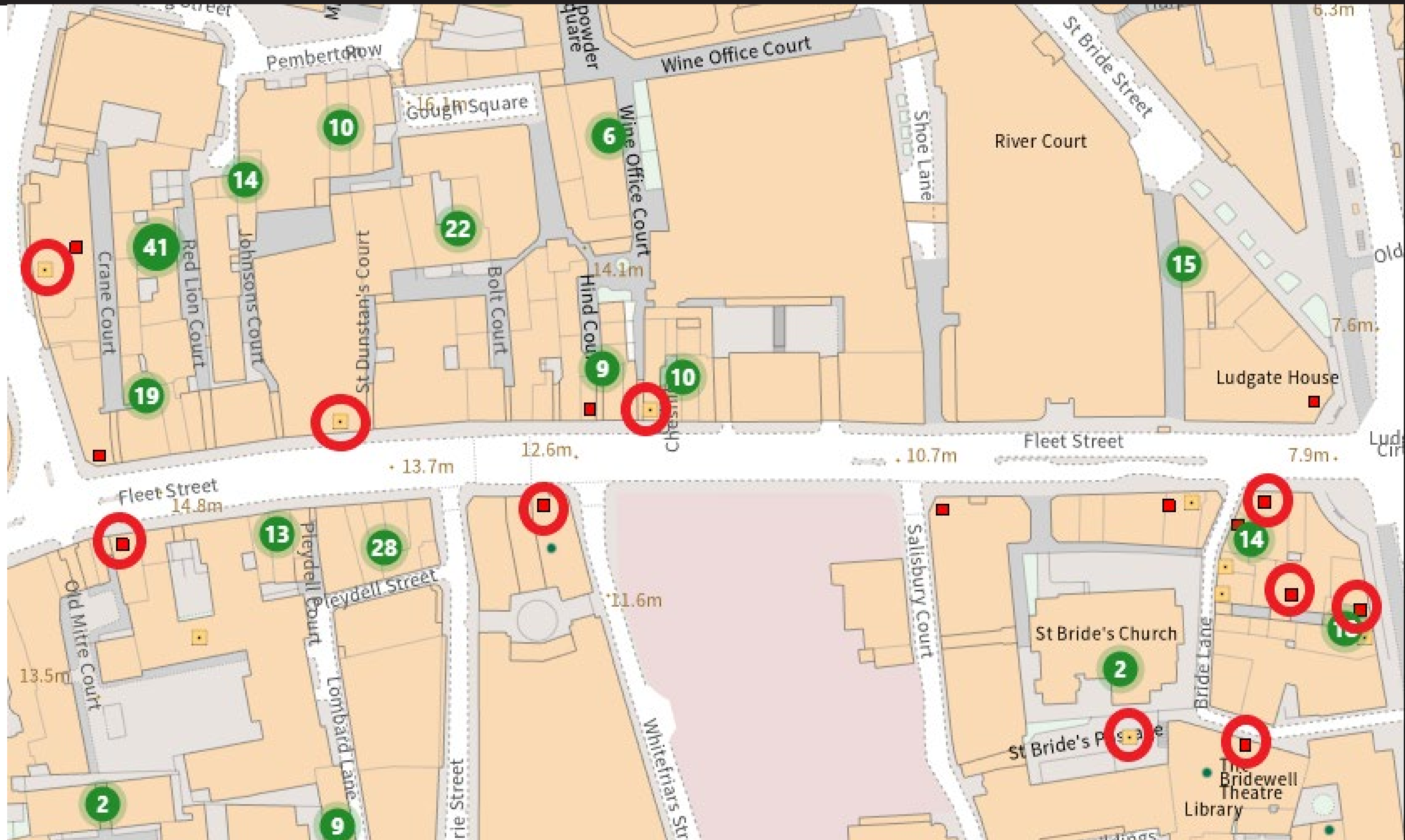
**Bolt Court view West to St Dunstan's Court**



Retail Units – Fleet Street



Alcohol Licensed Premises with licenced hours to mid-night and later – Minimum two days per week - Circled Red



Alcohol Licensed Premises (mid-night and later) and Residential locations



# Next Committee

## 2024